

ATTACHMENT B

Project Plans

PROJECT INFO

APN	8429-010-013	
APPLICATION TYPE	CONDITIONAL USE PERMIT	
EXISTING ZONING	M-1, LIGHT MANUFACTURING ZONE	
EX. LAND USE	INDUSTRIAL, AUTO BODY	
PROPOSED LAND USE	SAME (NO CHANGES)	
OCCUPANCY CLASSIFICATION	STORAGE GROUP S-1	

LOT COVERAGE

EXISTING BLDG. (NO CHANGES)	1,295 SQ.FT.	8.33%
LANDSCAPE & PERMEABLE SURFACES	285 SQ.FT.	1.83%
HARDSCAPE (PAVEMENT, CONCRETE, ETC.)	13,960 SQ.FT.	89.84%
TOTAL SITE AREA:	(0.357 ACRES) ±15,540 SQ.FT.	100.00%

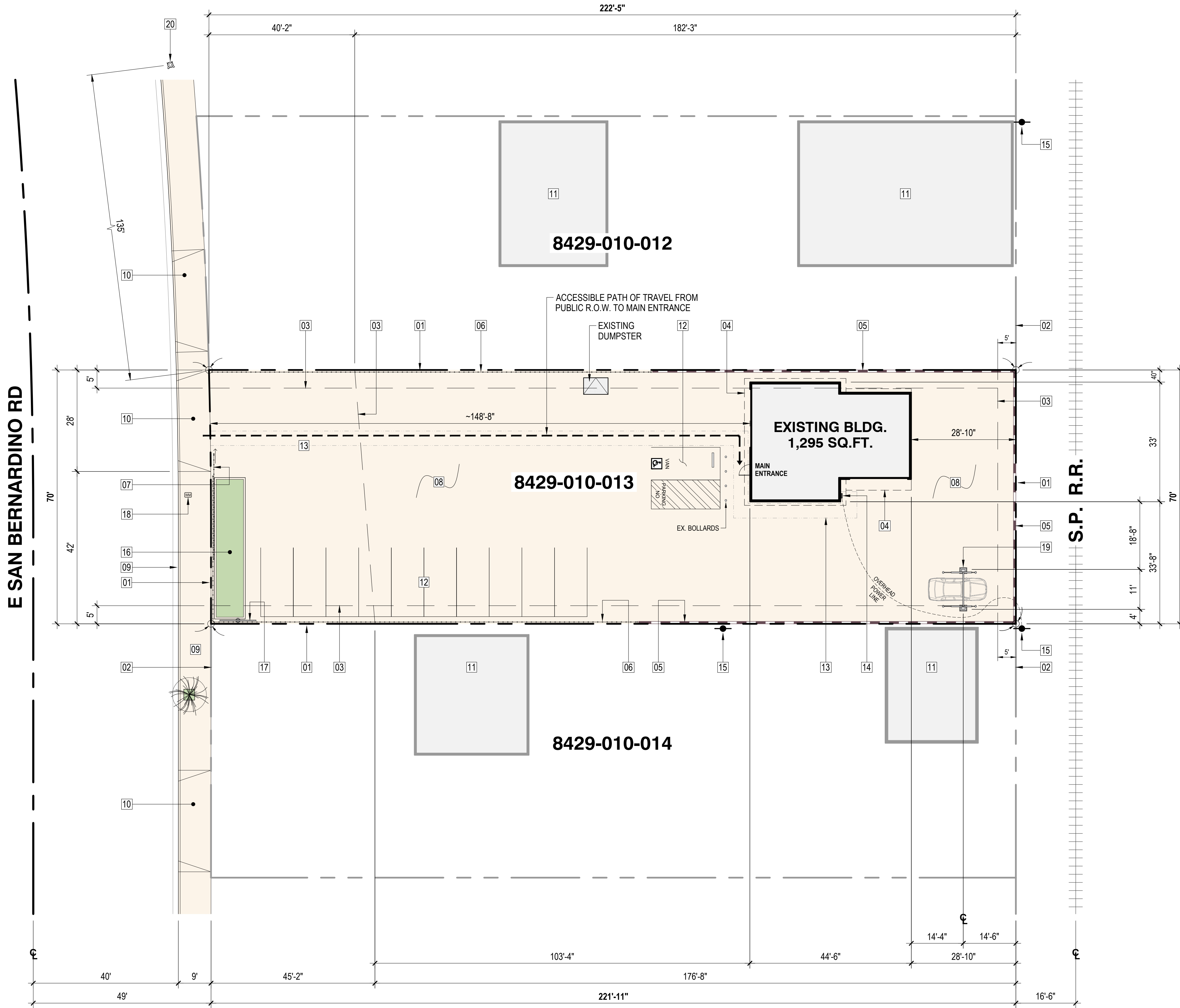
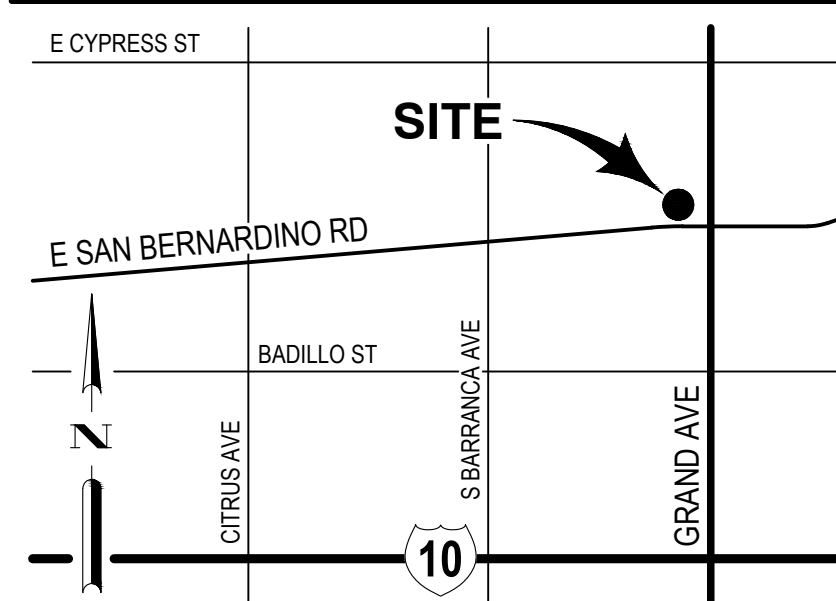
GENERAL NOTES

EXISTING CONDITIONS TO REMAIN UNLESS NOTED OTHERWISE. PROTECT IN-PLACE. REPAIR AND MATCH EXISTING WHERE REQD.

SITE PLAN KEY NOTES

- 01 PROPERTY LINES TYP.
- 02 ADJACENT PROPERTY LINES TYP.
- 03 SETBACK LINES / EASEMENTS
- 04 ROOF LINES TYP.
- 05 7' TALL EXISTING BLOCK WALLS (TO REMAIN)
- 06 6' TALL EXISTING FENCING + SCREENING (TO REMAIN)
- 07 EXISTING ROLLING GATE (TO REMAIN)
- 08 EXISTING CONCRETE PAVED AREAS
- 09 PUBLIC R.O.W. EXISTING SIDEWALK, CURB & GUTTER
- 10 EXISTING DRIVEWAY
- 11 EXISTING STRUCTURES ON ADJACENT PROPERTIES
- 12 EXISTING PARKING SPACES
- 13 EXISTING UTILITY ACCESS EASEMENT
- 14 EXISTING ELECTRICAL PANEL LOCATION (TO REMAIN)
- 15 EXISTING POWER POLES
- 16 EXISTING LANDSCAPE PLANTER WITH 6" CURB PERIMETER (TO REMAIN)
- 17 EXISTING POLE MOUNTED SIGNAGE (TO REMAIN)
- 18 EXISTING WATER METER P.O.C.
- 19 EXISTING 12' TALL 2-POST VEHICLE LIFT
- 20 EXISTING FIRE HYDRANT (BEYOND)

VICINITY MAP

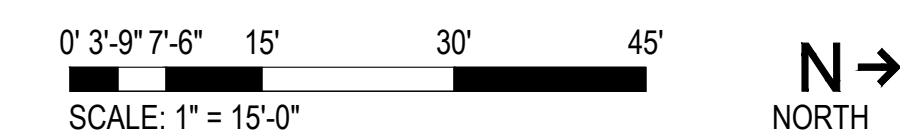


EXISTING BUSINESS OPERATIONS

THE EXISTING BUSINESS OPERATIONS CONSIST OF AUTOMOBILE DETAILING, BODYWORK, AND PAINTING SERVICES. THE EXISTING 1,295 SQ.FT. BUILDING COMPRISES 2 GARAGES AND AN OFFICE. REFER TO FLOOR PLAN FOR MORE INFO.

EXISTING SITE PLAN

SCALE: 1" = 15'-0"

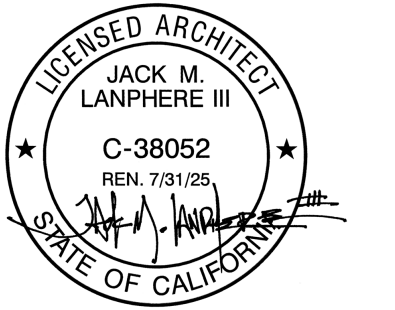


ARCHITECT OF RECORD:

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CONSULTANT:

NO.	PLAN/CHECK REVISION	DATE
△	-	--/--
△	-	--/--
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**PROJECT FOR:
ODA AUTOWERKZ, LLC**

813 E SAN BERNARDINO RD
COVINA, CA 91723

CONDITIONAL USE PERMIT APPLICATION

PLAN CHECK NO:	24-002
PROJECT TYPE: COMMERCIAL, NEW CONSTRUCTION	APN: 8429-010-013
OCCUPANCY: GROUP S-1 TYPE OF CONSTRUCTION: V-B	ZONING: M-1, LIGHT MANUFACTURING ZONE
DATE: 10/10/2023	REVISED: 06/14/2024
	PAGE SIZE: 24" X 36"
	V: 1.20

SHEET TITLE:

**EXISTING
SITE PLAN**

SHEET NO.

A-1.00

PROJECT INFO

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EXISTING ZONING	M-1, LIGHT MANUFACTURING ZONE	
EX. LAND USE	INDUSTRIAL, AUTO BODY	
PROPOSED LAND USE	SAME (NO CHANGES)	
OCCUPANCY CLASSIFICATION	STORAGE GROUP S-1	
FRONT YARD SETBACK	25'	
REAR YARD SETBACK	5'	
SIDE YARD SETBACK	5'	
HEIGHT	50' MAX.	

LOT COVERAGE

EXISTING BLDG. (NO CHANGES)	1,295 SQ.FT.	8.33%
PROPOSED BUILDING	1,430 SQ.FT.	9.20%
LANDSCAPE & PERMEABLE SURFACES	2,057 SQ.FT.	13.24%
HARDSCAPE (PAVEMENT, CONCRETE, ETC.)	10,758 SQ.FT.	69.23%
TOTAL SITE AREA:	(0.357 ACRES) ±15,540 SQ.FT.	100.00%

GENERAL NOTES

EXISTING CONDITIONS TO REMAIN UNLESS NOTED OTHERWISE. PROTECT IN-PLACE. REPAIR AND MATCH EXISTING WHERE REQD.

SITE PLAN KEY NOTES

- 01 PROPERTY LINES TYP.
- 02 ADJACENT PROPERTY LINES TYP.
- 03 SETBACK LINES / EASEMENTS
- 04 ROOF LINES TYP.
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- 06 EXISTING 6' TALL FENCING + SCREENING (TO REMAIN)
- 07 EXISTING ROLLING GATE (TO REMAIN)
- 08 EXISTING CONCRETE PAVED AREAS
- 09 PUBLIC R.O.W. EXISTING SIDEWALK, CURB & GUTTER
- 10 EXISTING DRIVEWAYS
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- 17 EXISTING POLE MOUNTED SIGNAGE (TO REMAIN)
- 18 EXISTING WATER METER P.O.C.
- 19 NOT USED
- 20 EXISTING FIRE HYDRANT (BEYOND)
- 21 PROPOSED ACCESSIBLE PARKING SPACE 9' X 19'
- 22 PROPOSED STRIPING FOR STANDARD 9' X 19' SPACES
- 23 PROPOSED BICYCLE RACKS
- 24 PROPOSED DETECTABLE WARNING REQ'S. SHALL EXTEND 36" MIN. IN THE DIRECTION OF TRAVEL & SHALL BE LOCATED AT CURB RAMPS & HAZARDOUS VEHICULAR AREAS PER 2022 CBC SEC. 11B-406.5.12 & 11B-705.
- 25 PROPOSED LANDSCAPE PLANTING AREAS WITH ALL NEW TREES & SHRUBS.
- 26 PROPOSED INFILTRATION BASIN
- 27 PROPOSED ACCESSIBLE SITE ENTRANCE SIGN
- 28 PROPOSED LED LIGHT STANDARDS WITH SHIELDING TO PREVENT SPILLOVER ON ADJACENT PROPERTY

PARKING LOAD ANALYSIS

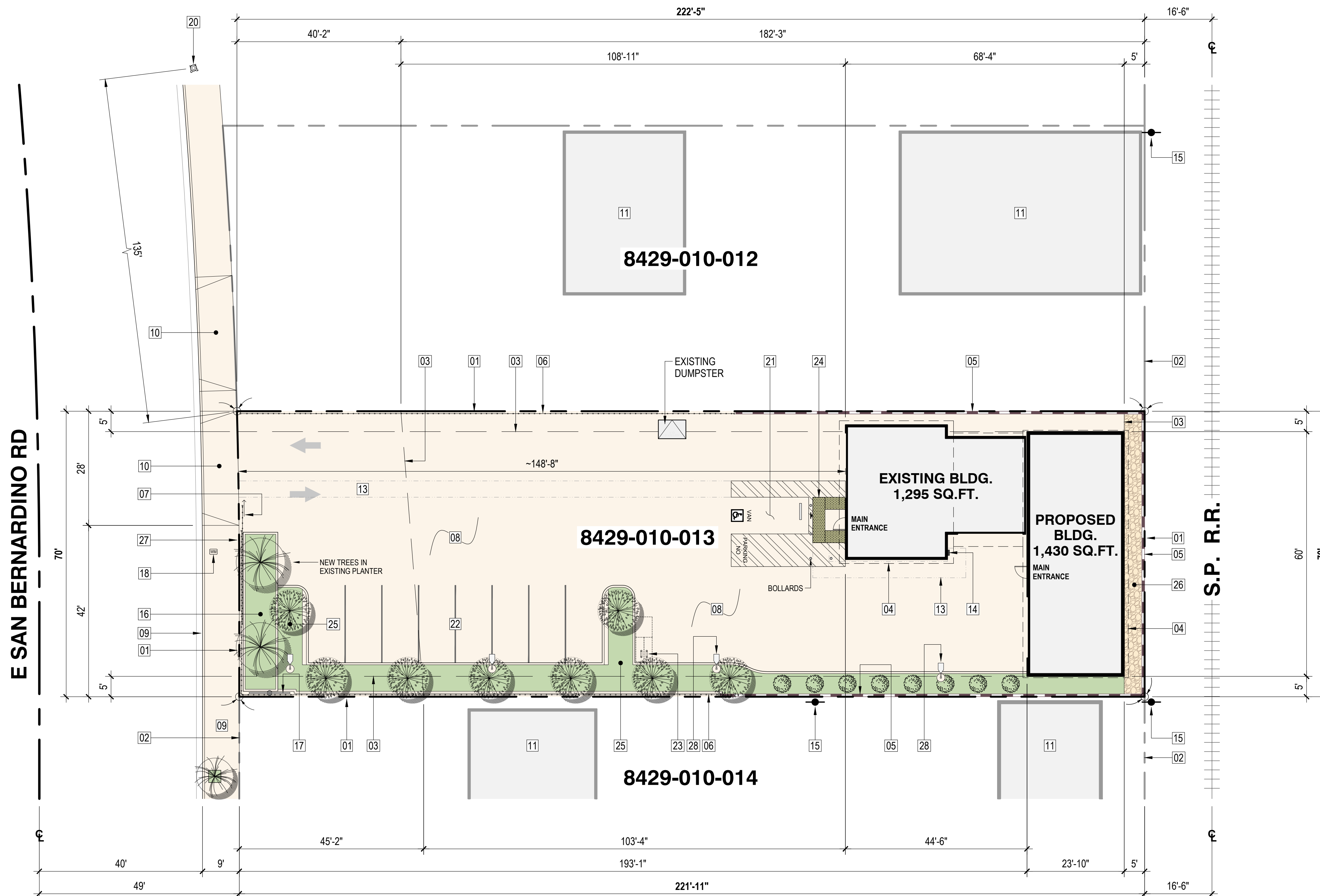
LAND USE / REQUIREMENTS	PARKING LOAD FORMULA	QTY. UNDER CONSIDERATION	FORMULA CALCULATION	PARKING REQUIRED		PARKING PROVIDED	
				STANDARD	ACCESSIBLE	STANDARD	ACCESSIBLE
AUTO BODY / PAINT SHOPS ⁰¹	3 PER ROLL-UP DOOR ⁰¹	1 ROLL-UP DOOR	X x 1 = 3	8 SPACES	1 (INCL. 1 VAN)	8 SPACES	1 (INCL. 1 VAN)
BUSINESS OFFICE ⁰²	1:250 SQ.FT. OF GFA ⁰²	1,295 SQ.FT.	X + 250 = 5.18				
TOTAL PARKING REQUIRED				9 SPACES			
				TOTAL PARKING PROVIDED		9 SPACES	

- 01 AUTOMOTIVE BODY AND PAINT SHOPS: THREE SPACES PER SERVICE BAY OR ROLL-UP DOOR, WHICHEVER IS GREATER, PLUS ADDITIONAL PARKING SPACES BASED ON THE APPLICABLE FLOOR AREA STANDARD FOR OFFICE/RETAIL/CUSTOMER AREAS. (CMC 17.72.010)
- 02 BANKS, BUSINESS OR PROFESSIONAL OFFICES: ONE FOR EACH 250 SQUARE FEET OF GROSS FLOOR AREA. (CMC 17.72.010)

ADDITIONAL PARKING REQ'S.

TYPE	QTY. REQUIRED	QTY. PROVIDED
CLEAN AIR / VANPOOL / EV	0 SPACES ⁰¹	0 SPACES
FUTURE EV CHARGING	0 SPACES ⁰²	0 SPACES
ACCESSIBLE EVCS	0 SPACES (INCL. 0 VAN) ⁰³	0 SPACES (INCL. 0 VAN)
BICYCLE	2 SPACES ⁰⁴	2 SPACES

- 01 DESIGNATED PARKING FOR ANY COMBINATION OF LOW-EMITTING, FUEL-EFFICIENT AND CARPOOL / VAN POOL VEHICLES (2022 CGC 5.106.5.2) (OVERLAP WITH EV SPACES PERMITTED)
- 02 NEW CONSTRUCTION SHALL FACILITATE FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) (2022 CGC 5.106.5.3) QTY. REQD. PER 2022 CGC TABLE 5.106.5.3.3 (INCL. ACCESSIBLE EVCS)
- 03 ACCESSIBLE ELECTRIC VEHICLE CHARGING SPACES (EVCS) COMPLYING WITH SECTION 11B-812 SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 11B-228.3.2.1
- 04 MIN. REQD. = 5% OF NEW VISITOR MOTORIZED VEHICLE PARKING SPACES BEING ADDED, WITH A MIN. OF ONE TWO-BIKE CAPACITY RACK PER 2022 CGC 5.106.4.1.1

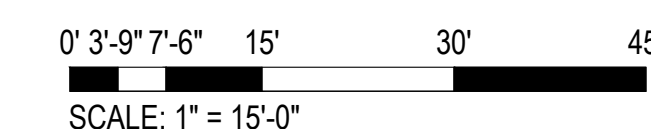


PROPOSED BUSINESS OPERATIONS

THE EXISTING BUSINESS OPERATIONS SHALL REMAIN THE SAME. AUTOMOBILE DETAILING, BODYWORK, AND PAINTING SERVICE. THE PROPOSED 1,430 SQ.FT. METAL BLDG SHALL BE USED FOR AUTO BODY WORK AND A NEW PRE-MANUFACTURED PAINT BOOTH INSTALLATION, REFER TO SHEET A-2.10.

PROPOSED SITE PLAN

SCALE: 1" = 15'-0"



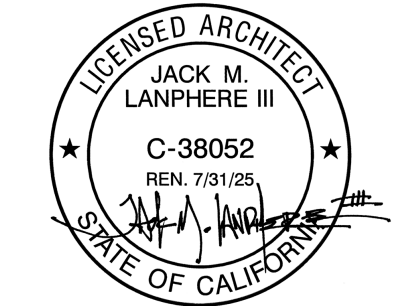
N →
NORTH

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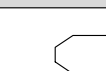
SHEET TITLE:

**PROPOSED
SITE PLAN**

SHEET NO.

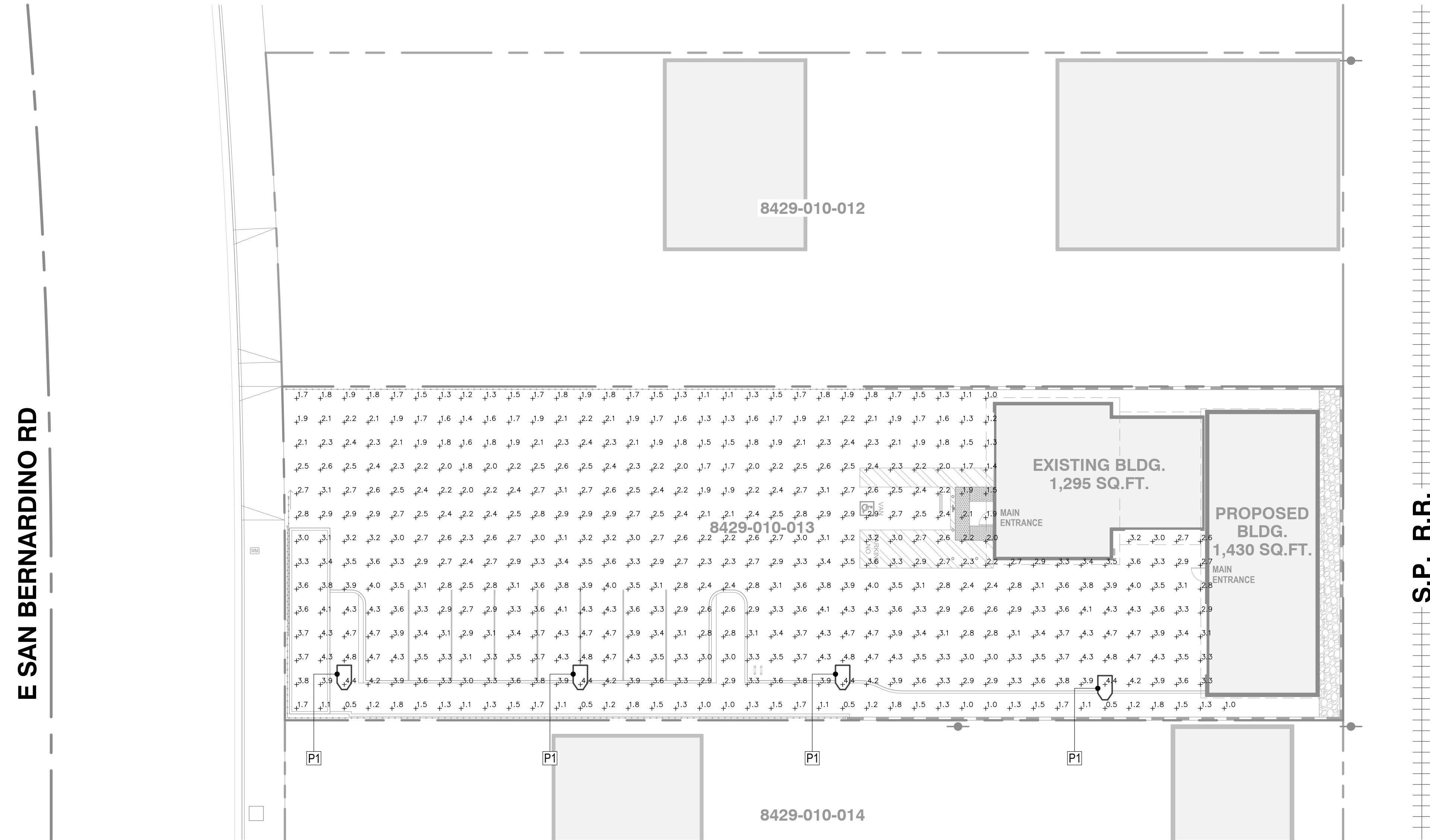
A-1.10

LIGHTING FIXTURE SCHEDULE

TAG	SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	OPTIONS	MOUNTING	FINISH	LOCATION / FIXTURE RATED	LAMP	COLOR TEMP	CONTROLS	WATTS	VOLTS	NOTES
P1		POLE LIGHT - T4M	LITHONIA LIGHTING	DSX1	12309 LUMENS, 80 CRI, T4M DISTRIBUTION, 20' HEAD	POLE MOUNTED	TBD	INDOOR	LED	3500K	0-10V	102	120V	CONFIRM FINISH WITH ARCHITECT PRIOR TO SUBMIT SHOP DRAWINGS

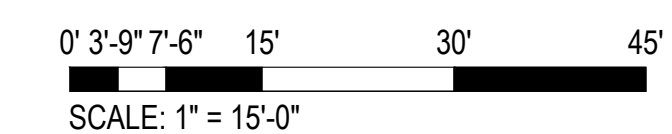
- 01 PROVIDE ALL REQUIRED HARDWARE, CABLES, ETC., FOR A FULLY FUNCTIONAL INSTALLATION.
- 02 REFER TO ARCHITECTURAL & LIGHTING PLANS AND SPECIFICATIONS FOR EXACT REQUIREMENTS, LOCATION & INSTALLATION.
- 03 HALF OR FULL SHADED FIXTURES SHALL HAVE INTEGRAL BATTERY WITH TEST SWITCH (UNLESS NOTED OTHERWISE).

STATISTICS					
DESCRIPTION	AVG	MAX	MIN	MAX/MIN	AVG/MIN
SITE AREA	3.4 fc	5.3 fc	1.5 fc	3.5:1	2.3:1



PROPOSED SITE PLAN - PHOTOMETRIC CALCULATION

SCALE: 1" = 15'-0"



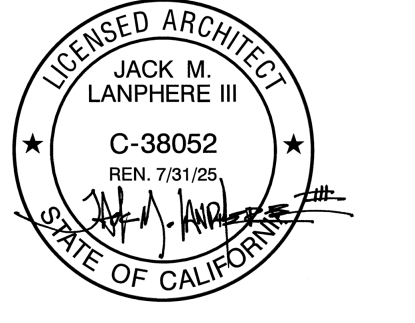
N →
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SHEET TITLE:

**PROPOSED
SITE PLAN
PHOTOMETRIC
CALCULATION**

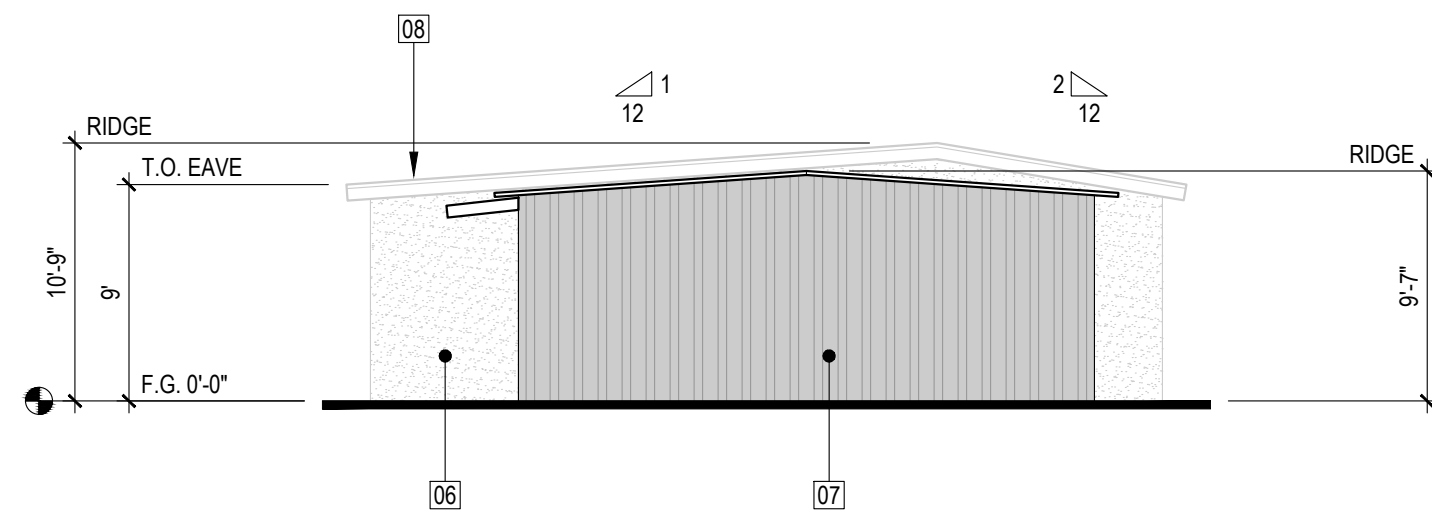
SHEET NO.

A-1.20

#	ITEM	COLOR	REMARKS	#	ITEM	COLOR	REMARKS	#	ITEM	COLOR	REMARKS
01	EXISTING DOOR WITH TEMPERED WINDOW	BLACK FRAME	36" WIDE ACCESSIBLE	04	EXISTING ASPHALT BUILT UP ROOFING	DARK GREY	--	07	EXISTING PBR METAL PANEL SIDING	MATCHING ITEM #05	VERTICAL PATTERN ORIENTATION
02	EXISTING WINDOWS	WHITE FRAME	--	05	EXISTING STANDING SEAM METAL ROOF	DARK GREY	--	08	WOOD TRIMS AND EDGE BOARDS TYP.	PAINTED WHITE	--
03	EXISTING GARAGE DOORS	BLACK	TILT UP STYLE	06	EXISTING EXTERIOR STUCCO	GREY	FINISH: SAND FINISH	09	--	--	--

ELEVATIONS LEGEND (EXISTING CONDITIONS)

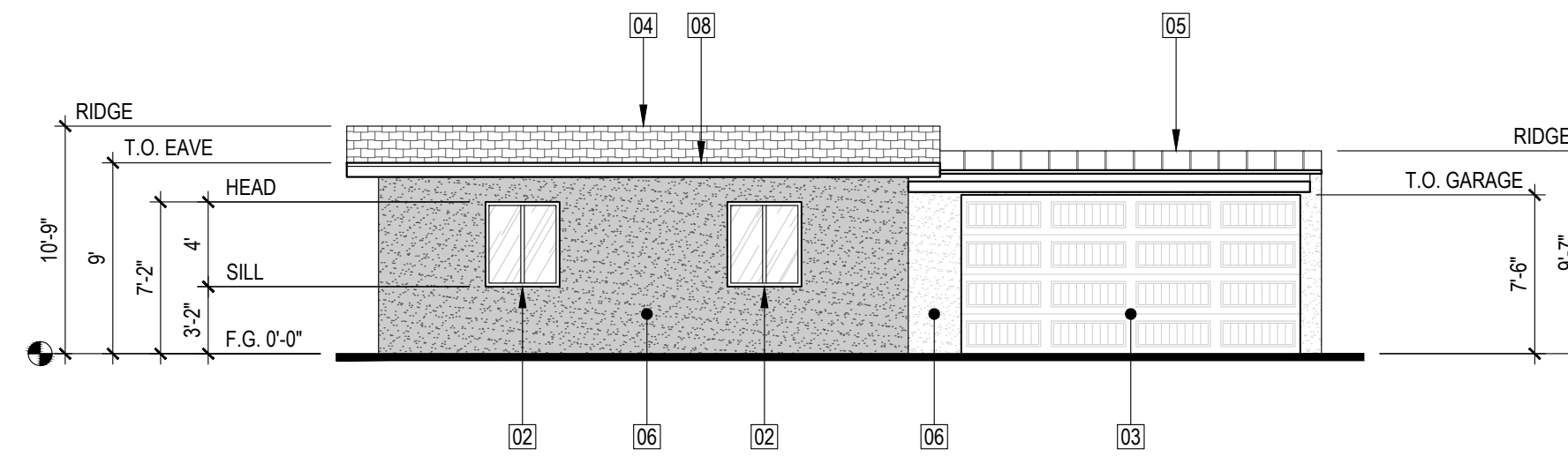
MATERIALS TYPICAL FOR ALL ELEVATIONS **01**



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

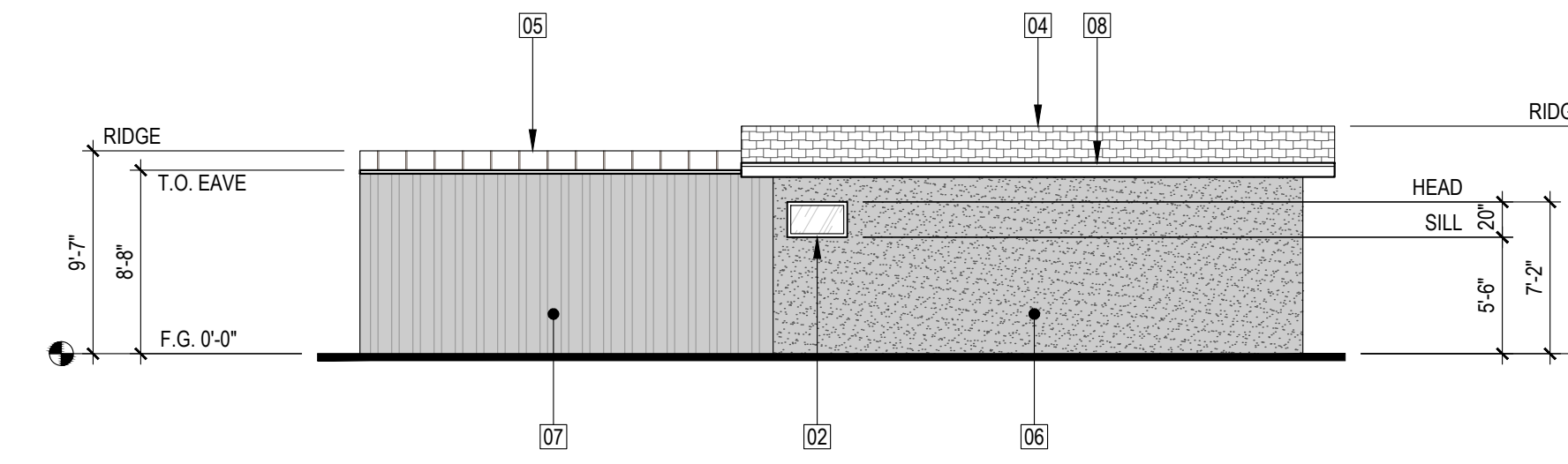
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EAST ELEVATION

SCALE: 1/8" = 1'-0"

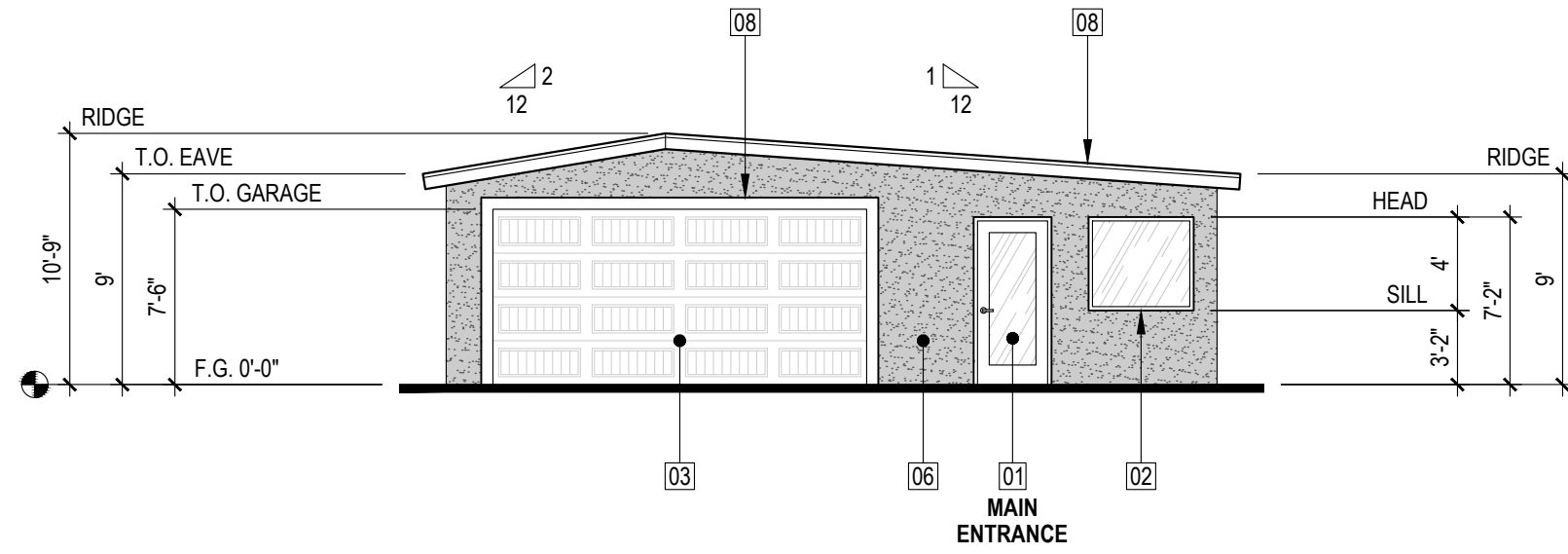
03



WEST ELEVATION

SCALE: 1/8" = 1'-0"

02



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

05

LEGEND

- EXISTING EXTERIOR BUILDING WALLS
- EXISTING INTERIOR WALLS
- - - EXISTING ROOF LINES

OCCUPANT LOAD & AREA BREAKDOWN

ID ⁰²	FUNCTION OF SPACE ⁰³	AREA ⁰⁴ (SQ.FT.)	OLF ⁰⁵	FORMULA CALCULATION	# OF OCC. ⁰⁶
--	BUSINESS AREAS	466	150 GROSS	X + 150	3.11
--	PARKING GARAGES	829	200 GROSS	X + 200	4.15
GROSS BLDG. AREA:		1,295		SUB-TOTAL:	7.3
TOTAL BLDG. OCCUPANT LOAD:					8

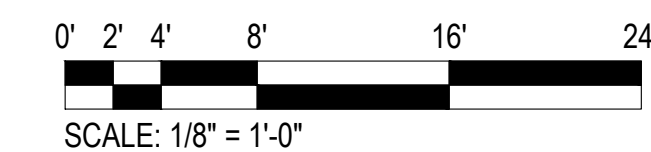
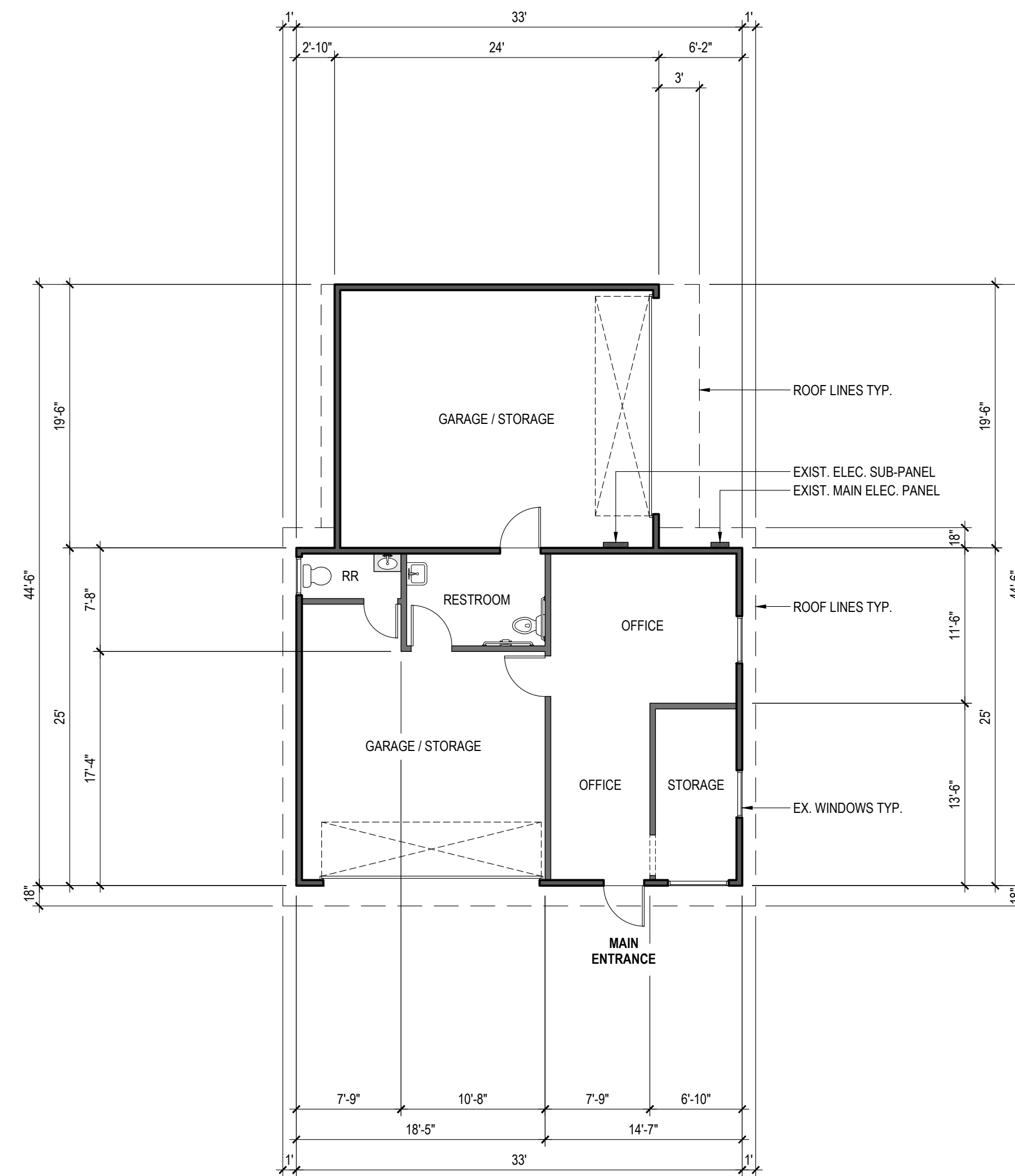
- 01 OCCUPANCY AS DETERMINED IN ACCORDANCE W/ 2022 CBC CHAPTER 3.
- 02 SPACE IDENTIFICATION.
- 03 ALL SPACES THAT CONFORM TO 'FUNCTION OF SPACE' IDENTIFIED (2022 CBC CHAPTER 10 & TABLE 1004.5.)
- 04 CUMULATIVE AREA OF THE 'SPACES' IDENTIFIED.
- 05 OCCUPANT LOAD FACTOR (OLF) PER 2022 CBC TABLE 1004.5.
- 06 NUMBER OF OCCUPANTS ATTRIBUTED TO THAT 'FUNCTION OF SPACE'.
- 08 SHAFTS WITH NO OPENINGS, INTERIOR COURTS, AND/OR OTHER PORTIONS OF UNOCCUPIABLE AREA.

NOTES & REQS.

1. ALL DIMENSIONS ARE TO FROM FACE OF STUD UNLESS NOTED OTHERWISE.
2. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING UNLESS OTHERWISE NOTED.
3. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS.
4. CONCEALED INSULATION INSTALLED IN BUILDINGS OF ANY TYPE OF CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450. REFER TO 2022 CBC SEC. 720 FOR MORE INFO.
5. ALL TABLES, TABLE TOPS, COUNTERS, AND ACCESS TO CASHIERS SHALL BE WHEELCHAIR ACCESSIBLE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE 2022 CALIFORNIA BUILDING CODE CHAPTER 11B.
6. AT EVERY PUBLIC ENTRANCE THERE SHALL BE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNAGE SHALL ALSO BE PROVIDED TO INDICATE THE DIRECTION TO ACCESSIBLE BUILDING ENTRANCES & FACILITIES.

EXISTING FLOOR PLAN & ELEVATIONS

SCALE: 1/8" = 1'-0"



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SHEET TITLE:

**EXISTING
FLOOR PLAN
& EXTERIOR
ELEVATIONS**

SHEET NO.

A-2.00

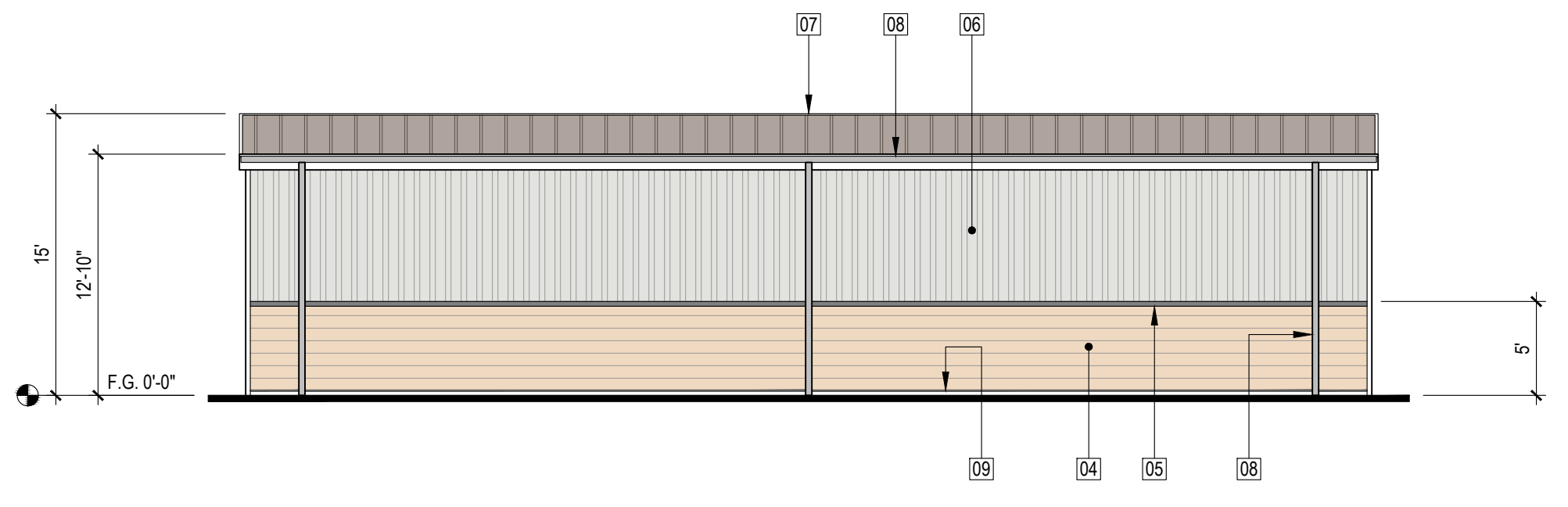
#	ITEM	COLOR	REMARKS
01	STEEL METAL DOOR W/ HOLLOW METAL FRAMES	DARK GRAY FRAMES & LEAF	--
02	15' WIDE x 10' TALL STEEL ROLL-UP DOOR	GRAY	CHOSEN BY OWNER
03	EXTERIOR LIGHTING: SHIELDED LED WALL PACK	BLACK FINISH	--

#	ITEM	COLOR	REMARKS
04	WAINSCOT: MANUF.: EDCO, MODEL: PRISM HORIZONTAL SIDING (OR EQ.)	WARM TAN	TYPE: SINGLE 8"
05	3" WAINSCOT TRIM STRIP	DARK GRAY	--
06	PBR METAL PANEL SIDING	LIGHT GRAY FINISH	VERTICAL ORIENTATION

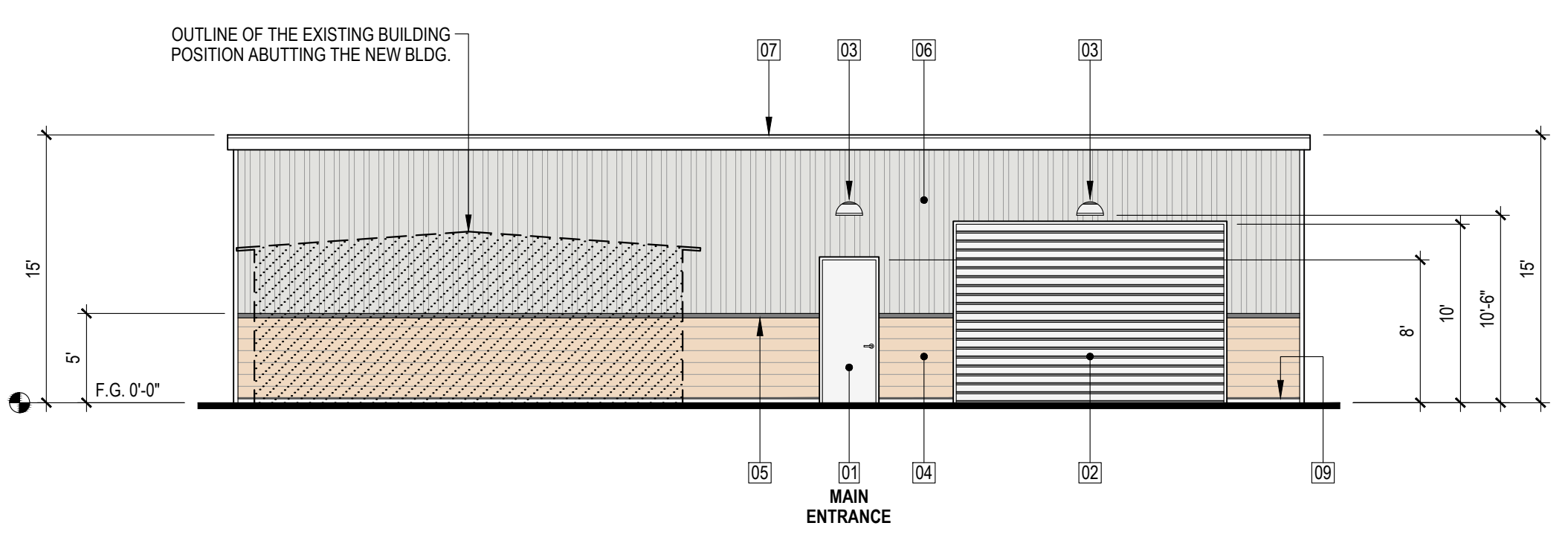
#	ITEM	COLOR	REMARKS
07	STANDING SEAM METAL ROOF	"SLATE GRAY"	SLOPE = 1:12 & RIB SPACING: 16" O.C.
08	GUTTER AND EXTERIOR DOWNSPOUTS	PAINT TO MATCH ITEM #06	DRAIN TO INFILTRATION TRENCH
09	WEEP SCREED AND FLASHING	PAINT TO MATCH ITEM #06	--

LEGEND FOR NEW BLDG. EXTERIOR ELEVATIONS

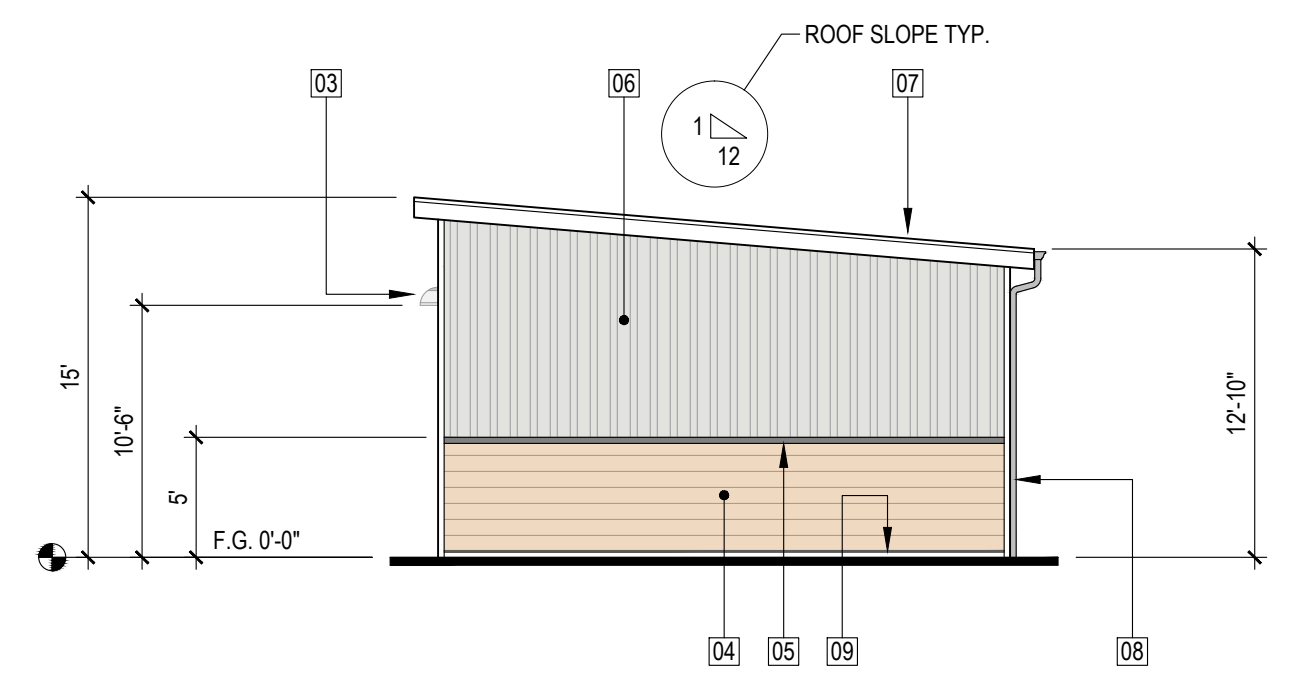
MATERIALS TYPICAL FOR ALL ELEVATIONS **01**



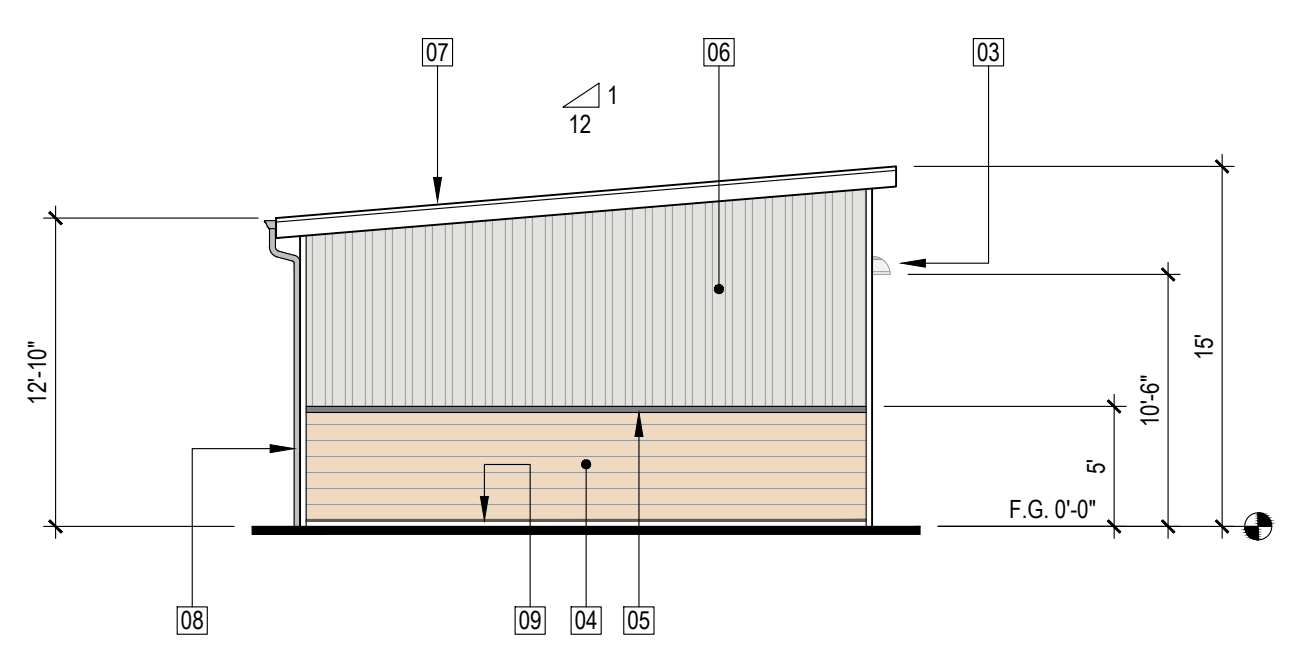
NORTH ELEVATION SCALE: 1/8" = 1'-0" **02**



SOUTH ELEVATION SCALE: 1/8" = 1'-0" **03**



EAST ELEVATION SCALE: 1/8" = 1'-0" **04**



WEST ELEVATION SCALE: 1/8" = 1'-0" **05**

OCCUPANT LOAD & AREA BREAKDOWN

PROPOSED USE & OCCUPANCY CLASSIFICATION: **STORAGE GROUP S-1**⁰¹

ID ⁰²	FUNCTION OF SPACE ⁰³	AREA ⁰⁴ (SQ.FT.)	OLF ⁰⁵	FORMULA CALCULATION	# OF OCC. ⁰⁶
--	INDUSTRIAL AREAS	1,430	100 GROSS	X + 100	14.3
GROSS BLDG. AREA:		1,430	SUB-TOTAL:		14.3
TOTAL BLDG. OCCUPANT LOAD:					15

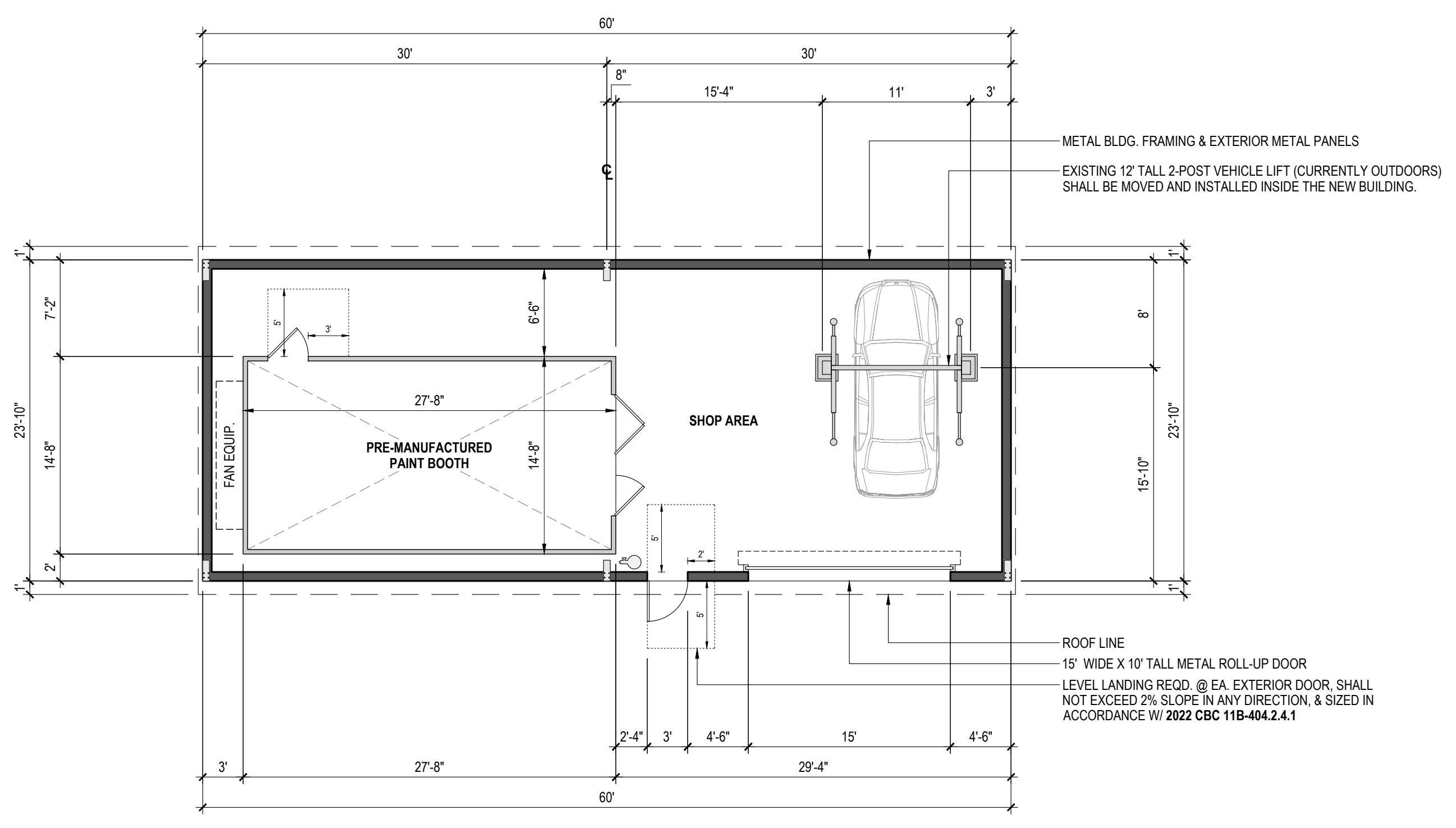
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2. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING UNLESS OTHERWISE NOTED.
3. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS.
4. CONCEALED INSULATION INSTALLED IN BUILDINGS OF ANY TYPE OF CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450. REFER TO 2022 CBC SEC. 720 FOR MORE INFO.
5. ALL TABLES, TABLE TOPS, COUNTERS, AND ACCESS TO CASHIERS SHALL BE WHEELCHAIR ACCESSIBLE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE 2022 CALIFORNIA BUILDING CODE CHAPTER 11B.
6. AT EVERY PUBLIC ENTRANCE THERE SHALL BE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNAGE SHALL ALSO BE PROVIDED TO INDICATE THE DIRECTION TO ACCESSIBLE BUILDING ENTRANCES & FACILITIES.

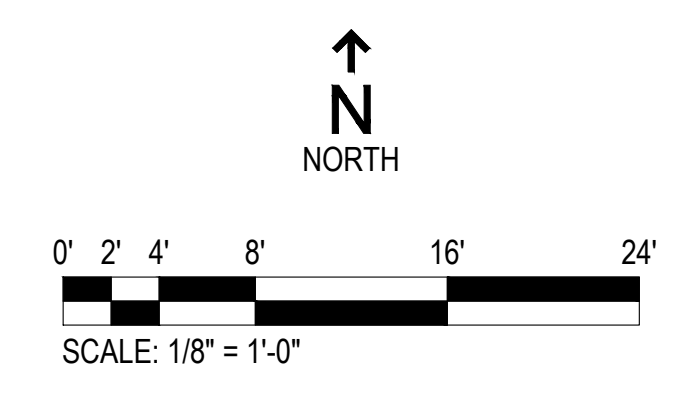
NEW BLDG. LEGEND

- 8" EXTERIOR METAL BLDG. WALLS
- PRE-MANUFACTURED PAINT BOOTH WALLS
- CONCEPTUAL METAL BLDG. STRUCTURAL FRAMING
- ROOF LINES TYP.
- 2A10BC FIRE EXTINGUISHERS INSTALLED & MAINTAINED PER 2022 CFC SEC. 906.
 - TRAVEL DISTANCE TO EXTINGUISHER: 75' MAX.
 - FLOOR AREA PER UNIT: 3,000 SQ.FT. MAX.
- 2022 CBC CHAPTER 11B ACCESSIBILITY MANEUVERING CLEARANCE REQS.



PROPOSED FLOOR PLAN & ELEVATIONS

SCALE: 1/8" = 1'-0"



ARCHITECT OF RECORD:

L&S ARCHITECTS, INC.

JACK M. LANPHERE III, ARCHITECT C-38052

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909.229.0125 E-MAIL: LA@L&SARCH.COM
LSARCHINC.COM



CONSULTANT:

NO.	PLAN/CHECK REVISION	DATE
1		--/--
2		--/--
3		--/--

PROJECT FOR:

ODA AUTOWERKZ, LLC

813 E SAN BERNARDINO RD
COVINA, CA 91723

CONDITIONAL USE PERMIT APPLICATION

PLAN CHECK NO:	24-002
PROJECT TYPE: COMMERCIAL, NEW CONSTRUCTION	APN: 8429-010-013
OCCUPANCY: GROUP S-1 TYPE OF CONSTRUCTION: V-B	ZONING: M-1, LIGHT MANUFACTURING ZONE
DATE: 10/10/2023	REVISED: 06/14/2024
	PAGE SIZE: 24" X 36"
	V: 1.20

PROPOSED FLOOR PLAN & EXTERIOR ELEVATIONS

SHEET NO.

A-2.10