



## PLANNING COMMISSION AGENDA

Tuesday, September 10, 2024, 7:00 p.m.

125 E. College Street, Covina, California

Council Chamber of City Hall

### IMPORTANT NOTICE

*Members of the public may view the meeting live on the City's website, at [www.covina.12milesout.com](http://www.covina.12milesout.com), or, on local cable television, Spectrum channel 29 and Frontier Channel 42. To view from the City's Website, hover over the Departments & Services tab until the drop-down menu appears, and Click on "City Council Virtual Library" under the City Council header. A live banner will appear at the start of the meeting.*

**Public Comments:** *During the meeting, there will be an opportunity for the public to speak. Public testimony is limited to five (5) minutes per speaker, unless, for good cause, the Mayor/Chairperson amends the time limit; a speaker's time may not be transferred to another speaker. State Law prohibits the Council/Agency/Authority Members from taking action on any item not on the agenda. Those wishing to speak on a LISTED AGENDA ITEM will be heard when that item is addressed. To address the Planning Commission please complete a yellow speaker request card located at the entrance of the Council Chamber and give it to the Planning Manager.*

*Meeting Assistance Information. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at (626)-384-5430 or by email at [cityclerk@covinaca.gov](mailto:cityclerk@covinaca.gov). Notification at least 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.*

**CALL TO ORDER**

**ROLL/CALL**

**PLEDGE OF ALLEGIANCE**

Led by the Chair.

## **PUBLIC COMMENTS**

*To address the Planning Commission please complete a yellow speaker request card located at the entrance and give it to the City Planner. Your name will be called when it is your turn to speak. Those wishing to speak on a LISTED AGENDA ITEM will be heard when that item is addressed. Those wishing to speak on an item NOT ON THE AGENDA will be heard at this time. State Law prohibits the Commissioners from taking action on any item, not on the agenda. Individual speakers are limited to five minutes each, unless, for good cause, the Chairperson amends the time limit.*

## **COMMISSIONER COMMENTS**

## **ADMINISTRATIVE ITEMS**

## **CONSENT CALENDAR**

*All matters listed under the consent calendar are considered routine and will be enacted by one motion. There will be no separate discussion on these items prior to the time the Planning Commission votes on them unless a member of the Planning Commission requests a specific item be removed from the consent calendar for discussion.*

### **CC1. Approval of the Minutes of August 27, 2024**

## **CONTINUED PUBLIC HEARINGS**

## **PUBLIC HEARINGS**

### **PH 1. Proposal to expand an existing auto body shop to accommodate a spray booth at 813 E San Bernardino Road**

Conditional Use Permit (CUP) 24-002, Site Plan Review (SPR) 24-24 and determination of exemption from CEQA, to allow a 1,430 sq. ft pre-engineered structure with one spray booth within the Light Manufacturing (M-1) zone, located at 813 E San Bernardino Rd (APN: 8429-010-013)

#### **Staff Recommendation:**

Staff recommends that the Planning Commission adopt Resolution No. 2024-015 PC approving Conditional Use Permit (CUP) 24-002 and Site Plan Review (SPR) 24-24 with the attached Conditions of Approval, and making a determination of exemption of the California Environmental Quality Act (CEQA) guidelines.

### **PH 2. A request to allow the operation of two bonafide eating establishments in conjunction with on-sale alcohol ABC licenses at 128-132 E College Street**

Conditional Use Permit (CUP) 23-010, Site Plan Review (SPR) 23-281 and determination of exemption from CEQA: A request to allow the operation of two (2) bona-fide eating establishments in conjunction with (2) Type – 47 ABC License on sale alcohol and a 4,830 square feet outdoor dining area with four (4) food trailers and live entertainment. The Project site is located within the Covina Town Center Specific Plan (CTCSP) Cultural Core, located at 128-132 E College St. Covina, CA, 91723 (APN: 8445-009-040).

#### **Staff Recommendation:**

Staff recommends that the Planning Commission adopt Resolution No. 2024-014 PC approving Conditional Use Permit (CUP) 23-10 and Site Plan Review (SPR) 23-281 with the attached Conditions of Approval, and making a determination of exemption of the California Environmental Quality Act (CEQA) guidelines.

**CONTINUED BUSINESS**

None.

**NEW BUSINESS**

None.

**GENERAL MATTERS**

None.

**ADJOURNMENT**

The Planning Commission will adjourn to its next regular meeting scheduled for Tuesday, September 24, , at 7:00 p.m. inside the Council Chamber at City Hall, located at 125 East College Street, Covina, California, 91723.

*The Community Development Department does hereby declare that the agenda for the September 10, 2024 meeting was posted on the City's website and near the front entrance of Covina City Hall, 125 East College Street, Covina, in accordance with California Government Code Section 54954.2(a).*



## **MINUTES OF THE REGULAR MEETING OF THE COVINA PLANNING COMMISSION**

Date: August 27, 2024, 7:00 PM  
Location: 125 E. College Street, Covina, California  
Council Chamber of City Hall

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### **1. CALL TO ORDER**

Chair Richardson called the Planning Commission to order.

### **2. ROLL/CALL**

Commissioner Present: Connors, McMeekin, Rodriguez, Richardson

Commissioners Absent: Flores

Staff Present: Community Development Director Lee, Legal Counsel Heinselman, IT Manager Granger, Planning Manager Lugo

Participants/Attendees: None

### **3. PLEDGE OF ALLEGIANCE**

Chair Richardson led the Pledge of Allegiance.

### **4. PUBLIC COMMENTS**

There were no public comments.

### **5. COMMISSIONER COMMENTS**

None.

### **6. ADMINISTRATIVE ITEMS**

None.

### **7. CONSENT CALENDAR**

#### **1. CC1. Approval of the Minutes of July 23, 2024**

Commissioner Connors made a motion and Commissioner Rodriguez seconded to approve the minutes of the July 23, 2024 Planning Commission meeting.



Motion carried by a vote of 4-0 as follows:

AYES: CONNORS, MCMEEKIN, RODRIGUEZ, RICHARDSON

NOES: NONE

ABSENT: FLORES

ABSTAIN: NONE

**8. CONTINUED PUBLIC HEARINGS**

**9. PUBLIC HEARINGS**

**10. CONTINUED BUSINESS**

**11. NEW BUSINESS**

**1. NB 1. Physical Therapy - Use Determination**

Planning Manager Lugo presented the staff report and presented staff's recommendation to affirm staff's interpretation that a "Physical Therapy" use is similar to a "Medical Office and/or Clinic" use, thereby allowing Physical Therapy uses as a by-right permitted use and to direct staff to return with a Resolution to classify the use.

There were no questions from the commissioners.

Chair Richardson opened the item for public comments.

No comments were received.

Chair Richardson closed the public comment period.

Commissioner Connors and McMeekin agreed that "Physical Therapy" use is similar to "Medical Office Use".

**Recommendation:** Staff requests that the Planning Commission affirm the staff's interpretation that a "Physical Therapy" use is similar to a "Medical Office and/or Clinic" use, thereby allowing Physical Therapy uses as a by-right permitted use and direct staff to return with a resolution to classify the determination.

Commissioner Connors moved staff's recommendation.

**Motion made by:** Commissioner Connors

**Seconded by:** Commissioner McMeekin

AYES: CONNORS, MCMEEKIN, RODRIGUEZ, RICHARDSON

NOES: NONE

ABSTAIN: NONE

ABSENT: FLORES

**2. NB 2. Study Session on Short-Term Rental Draft Regulations**

Planning Manager Lugo presented the staff report.

Commissioner Connors asked staff if complaints had been received concerning the pool parties.

Planning Manager Lugo confirmed, yes, and added that the Covina Police Department had brought the matter to the Planning Division's attention, in addition to a gradual increase in complaints that were received the by Code Enforcement Division.

Commissioner McMeekin inquired about page 2 of the Draft Regulations, regarding the hearing officer and asked who would be conducting hearings.

Planning Manager Lugo responded that the city has a procedure in place for citations, and will implement a similar procedure.

Commissioner McMeekin inquired who the public hearing officer is proposed to be.

Community Development Director Lee responded that the city currently contracts with a third-party vendor that collects and manages citations and hearings.

Commissioner McMeekin commented the city should probably set out exactly who the hearing officer is and how they are selected in case a citizen has a problem with the city in a determination.

Community Development Director Lee responded that in a different situation, the city utilized a hearing officer from the state's clearinghouse and noted that it was expensive, and added that if the Planning Commission directs staff to move forward with creating an ordinance that would allow short term rentals, they can include more details regarding a hearing process, or not allow short term rentals.

Commissioner McMeekin responded that information related to a "hearing officer" be clearly defined. Commissioner McMeekin then inquired how neighborhoods are defined and referred to the reference on page three of the Draft Regulations.

Community Development Director Lee responded that staff can define that geographically via a radius or within streets, and can return with options to further define neighborhoods.

Commissioner McMeekin responded that neighborhoods should be defined, and then referred to page 6 of the Draft Regulations which references that a "property manager" must be available 24 hours a day, 7 days a week.

Community Development Director Lee responded that, in drafting the regulations, city staff reviewed existing short-term rental regulations in California, and work shop items that staff felt were worthy to bring up, and added that it should be important to note someone to be responsible and how to contact them. Community Development Director then mentioned an example of a situation of an absentee property manager who is out of state and needs to be contacted by the Police Department. Community Development Director Lee further added that in those instances it may be necessary to have a property manager's contact information if the property owner is not within the region.

Commissioner McMeekin then referred to page 7 and inquired why Section 8 people were not able to rent short-term rentals.

Community Development Director Lee responded that if a person is a Section 8 tenant, they cannot sublease their unit.

Commissioner McMeekin commented that it seems discriminatory to not allow persons of lesser means to operate short-term rentals.

Community Development Director Lee responded that the intent of Section 8 is to provide permanent housing, and short-term rentals are an income generator, and if the program intends to provide housing then that should be the primary purpose of the residence.

Commissioner Connors noted that the program requirements may prohibit participants from leasing out their units.

Commissioner McMeekin inquired about the section of the Draft Regulations on page 9, relating to a limit of 2 rental periods throughout the year.

Community Development Director Lee responded that it may be appropriate to quantify a number that is appropriate for the City of Covina.

Commissioner McMeekin inquired whether a similar limit was found when looking into regulations for other cities.

Planning Manager Lugo responded that staff surveyed, Pasadena, Los Angeles, Bellflower, West Covina, and Baldwin Park, and that they all have different ranges and it depends on the city preference.

Commissioner McMeekin inquired whether any of these other cities have a comparable limitation.

Planning Manager Lugo responded that Covina staff propose a more conservative approach, and added that larger cities such as Burbank or beach cities have more tourists visiting.

Commissioner McMeekin inquired what the distinction is between a "summary modification" and a "modification" on page 14, paragraph "C".

Legal Counsel Heinselman responded that the "summary modifications" are described on page 30 and that they are intended to abate an immediate threat to physical safety.

Commissioner McMeekin then referred to page 18, relating to a misdemeanor.

Community Development Director Lee responded that all Code Enforcement citations are misdemeanors.

Commissioner McMeekin thanked staff and commented that the draft regulations should be broadened.

Commissioner Rodriguez inquired if violations would garner administrative citations.

Community Development Director Lee responded that a violation would first receive a notice of violation. If the notice of violation is ignored, then citations are issued, and eventually, if compliance is not met, then the city would file with the city prosecutor and obtain a remedy through the court system.

Commissioner Rodriguez commented that much of the complaints that would be coming through would be related to the people throwing parties, and noted that it would be twofold, that Code Enforcement would issue a citation to the property owner, but the Police Department would issue a separate noise disturbance citation, and if staff is aware of a police issue citation that does not go to the court system.

Community Development Director Lee responded that the types of complaints that come in regarding parties occur on weekends and evenings when Code Enforcement staff are not available unless they are scheduled in advance, and the Police Department would either shut them down or issue a citation, and further added that they return with further information regarding the citations issued.

Commissioner Rodriguez responded that if it is strictly a noise complaint a citation can be issued strictly on a noise complaint based on the municipal code, where it is strictly a fine to whoever wants to claim responsibility for the party. Commissioner Rodriguez further commented that in order to issue a noise disturbance under the penal code, a signed citizen complaint is required, then asked staff what can be done about administering fines on a property when no one takes responsibility.

Community Development Director Lee responded that staff will need to research further, and that for other types of activity, staff will conduct online research to verify if the activity is posted online for rent.

Commissioner Rodriguez inquired that if the regulations were to be adopted, if code enforcement officers would be dedicated to enforcing them.

Community Development Director Lee responded that yes, to some capacity, in collaboration with the Police Department.

Commissioner Rodriguez commented that they believe the problems can continue to be resolved with collaboration between Code Enforcement and the Police Department.

Commissioner McMeekin asked Commissioner Rodriguez if there was a time when an officer made an arrest under Penal Code 415.

Commissioner Rodriguez responded that its rare but it has happened, and it has to be initiated by a citizen willing to sign a citizen's arrest because an officer cannot be a victim of someone else's noise complaint. Commissioner Rodriguez further added that it is difficult to get someone to sign because they would need to be involved and willing to go to court, which is why the administrative citation was created, because it does not go to the courts, and if there is a hearing, the hearing is done at city hall.

Commissioner McMeekin commented that they were surprised that it [a violation of short-term rental regulations] would be categorized as a misdemeanor, adding that if some of the procedures could be included that Commissioner Rodriguez discussed.

Commissioner Rodriguez commented that a full crime report is required for a citation for a misdemeanor.

Community Development Director responded that typically the department issues a notice first, and then it escalates to citations.

Commissioner McMeekin inquired whether the city has a way to put a lien on a property if the fines are not paid.

Community Development Director confirmed, yes.

There were no other questions from the Commission.

Chair Richardson opened the item for public comments.

No public comments were received.

Chair Richardson closed the public comment period.

Commissioner Connors asked staff how the short-term rental permit process occurs and how the property owners get informed.

Community Development Director Lee responded that, if this is the direction the city would like to go into, then property owners may be informed several ways, such as first communicating with the department, or being notified via a courtesy notice if their property is identified as a short-term rental property by the city.

Commissioner McMeekin commented that the outfits [website platforms offering short term rentals] that are advertising should be alerted.

Chair Richardson thanked staff for the presentation and commented that there seems to be strict regulations, but after further consideration, it is well thought out.

Commissioner Richardson inquired if any other notices were provided other than the social media postings.

Planning Manager Lugo responded that the post was added to the City's Facebook and Instagram accounts.

Chair Richardson commented that no formal action would be taken by the Planning Commission.

Planning Manager Lugo commented that the Planning Commission's directions and comments would be integrated into the draft regulations and inquired whether the Commission's position is to allow Short Term Rentals in Covina or to ban them altogether, and if it should include pool and backyard rentals.

The commissioners confirmed that the consensus is to allow short-term rentals, including pool and backyard rentals with regulations, and to include a limitation on pool rentals.

Planning Manager Lugo commented that staff will incorporate the comments and return the item either for a second study session or to schedule a public hearing.

The commissioner confirmed that the item should return to a public hearing, and the public can make comments at that time.

**12. GENERAL MATTERS**

Commissioner Rodriguez notified staff that they will not attend the Planning Commission meeting scheduled for September 10, 2024.

**13. ADJOURNMENT**

The meeting was adjourned at 7:50 PM.

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Planning Commission Secretary



Planning Commission Regular Meeting  
**STAFF REPORT**

ITEM NO. PH 1

**Meeting:** Tuesday, September 10<sup>th</sup>, 2024

**Title:** Proposal to expand an existing auto body shop to accommodate a spray booth at 813 E San Bernardino Road

**Title Description:** Conditional Use Permit (CUP) 24-002, Site Plan Review (SPR) 24-24 and determination of exemption from CEQA: A proposal to add a 1,430 sq. ft pre-engineered structure with one spray booth within the Light Manufacturing (M-1) zone, located at 813 E San Bernardino Rd (APN: 8429-010-013)

**Presented by:** Eduardo Lomeli, Assistant Planner

**PROJECT SITE INFORMATION**

**A. Project Information:**

Request: Conditional Use Permit (CUP) 24-002  
 Site Plan Review (SPR) 24-24

Applicant/Authorized Agent: Jack Lanphere

Property Owner: Gerardo Z. Chavez and Maria Miramontes

Location: 813 E San Bernardino Rd

Assessor Parcel Map No's: 8429-010-013

**B. Site and Surrounding Land Uses:**

The following table provides the General Plan designation, Zoning, and existing uses of the site and surrounding areas:

Table 1: Site and Surrounding Land Uses			
	General Plan	Zoning	Existing Uses
Site	General Industrial	M-1 Light Industrial	Auto Body Shop "ODA Autowerkz"
North	General Industrial	M-1 Light Industrial	Multiple Industrial Uses
South	Low Density Residential and	R-1-7500 and PCD/RD-1580 – Planned Community	Residential

	HDR – High Density Residential and LDR	Development / Residential Zone	
East	General Industrial	M-1 Light Industrial	Contractor’s Warehouse “Rain Guard Roofing”
West	General Industrial	M-1 Light Industrial	Auto Body Shop “Bo’s Auto Repair”

**C. Site Characteristics:**

The Project site is approximately 0.35 acres in size, with an existing 1,295-square-foot building, accommodating an existing auto mechanic shop known as "ODA Autowerkz". Existing ingress/egress to the subject site is available via driveway located along San Bernardino Rd. There is currently an existing trash enclosure and approximately (9) nine parking spaces available on site.

**BACKGROUND / PROJECT ANALYSIS**

On March 18, 2024, the applicant filed Conditional Use Permit (CUP) and Site Plan Review (SPR) applications proposing to add a 1,430 sq. ft pre-engineered structure with one spray booth located within the proposed structure and to expand their operations to offer paint services for vehicles.

Business Operation:

Hours of operation for the auto body shop will be Monday through Friday 8:00 a. m. to 7:00 p. m. on Saturdays from 8:00 a. m. to 2:00 p. m. and closed on Sundays. ODA Autowerkz will offer body work and paint work in conjunction with detailing, washing and ceramic coating.

Design:

Site design modifications include constructing a 1,430 square foot structure for the new spray booth area. The building will have colors matching the existing structure. Part of the proposal is to restripe the property and enhance the landscape by proposing an infiltration basin. Condition of approval (Exhibit C) has been added to ensure the proposed lighting does not encroach onto neighboring residential properties and businesses.

Compatibility of Land Use:

The existing auto body shop service is located in the Light Industrial (M-1) Zone, surrounded by various other auto service-oriented uses. The existing tenant space is surrounded by similar compatible uses, and therefore, the proposed expansion would not create land use conflict with existing businesses within the Light Industrial uses.

Parking:

The total floor area for the auto body repair shop is 1,295 square feet. The applicant is proposing a 1,430 square foot addition, totaling 2,725 square feet of combined floor area. The expansion will consist of a spray booth and one roll up door. There are currently 9 parking spaces available and a total of 1 proposed service bay. Therefore, parking demand will not change and sufficient parking for the Subject Site is preserved.



**Table 2: Parking Calculations**

Minimum Required Off-Street Commercial Parking Space(s)	Total Gross Floor	Parking Spaces Provided
Automotive body and paint shops	Three per service bay or roll up door, whichever is greater, plus additional parking spaces based on the applicable floor area standard for office	(2) 2 -car garages for vehicles under maintenance and need to be stored over night = 4 parking spaces provided
	1 service bay x 3 parking stalls = 3 parking spaces	One service bay allowing to store 1 vehicle = 1 parking space provided
	1,295 sq. ft office space / 250 sq. ft per parking space = 5 parking spaces	One spray booth = 1 parking space provided
	<b>8 parking spaces required</b>	(9) parking spaces proposed <b>15 parking spaces provided</b>

Signage:

Proposed signage by the applicant is not a part of this review and approval. A separate sign permit application and related plans will be required showing compliance with the City’s sign ordinance for the property.

**FINDINGS OF FACTS**

CMC Section 17.62.120 provides that the Planning Commission, in approving a Conditional Use Permit shall find as follows:

**A. Findings for Conditional Use Permit (CMC Section 17.62.120)**

- 1. The site for the proposed use is adequate in size and shape to accommodate the use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this title to adjust the use with land and uses in the neighborhood.**

*Facts:* The pre-engineered structure containing a paint booth would be installed and all supporting equipment would be located in a currently vacant rear area portion of the site that is abutting the railroad. This location will not result in any disruptions regarding current activities on the property, Staff has identified no site-related constraints or issues concerning any components of the proposed structure and uses. **Therefore, as proposed, this criterion has been met.**

- 2. That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use.**

*Facts:* The proposed major auto body repair use (specifically auto paint) would be having a negligible impact on the surrounding street, which is San Bernardino Rd, because the the facility is appointment based and accessible to employees only. The overall surrounding roadway system has sufficient widths and capacities to accommodate maintenance and occasionally other personnel associated with the proposed major auto repair use. **Therefore, as proposed, this criterion has been met.**

3. **The proposed use will have no adverse effects on the abutting properties or the permitted use thereof.**

*Facts:* The proposed major auto body repair use (specifically auto paint) would be located, operated, and maintained in a way that does not interfere with any nearby business activities. The auto paint booth will be operating inside a pre-engineered structure that will be surrounded on the West, East and North side by a block wall which won't intervene with any surrounding uses. Furthermore, the conditions of approval will prevent any potential auto paint services associated nuisances on the surrounding areas. **Therefore, as proposed, this criterion has been met.**

4. **That the conditions stated in the decision are deemed necessary to protect public health, safety, and general welfare. Such conditions include regulation of use, regulation of signs, requiring maintenance of grounds, regulation of noise, vibrations, odors, etc., regulation of time for certain activities, duration of use, and any such other conditions as will make possible the development of the city in an orderly and efficient manner and conformity with the intent and purposes set forth in this title.**

*Facts:* No major public health or safety related impacts have been identified during project review. At construction completion and in perpetuity, the major auto body repair (specifically auto paint) would be subject to certain regulations of the South Coast Air Quality Management District (SCAQMD). Building permits would have to be obtained in conjunction with facility construction. Furthermore, the CUP associated conditions of approval will prevent any potential operational or design associated issues. **Therefore, as conditioned, this criterion has been met.**

## **B. Findings for Site Plan Review (CMC Section 17.64.070)**

In order to approve the Site Plan Review (SPR) application, the Planning Commission must make the findings as listed below:

1. **All provisions of Title of the CMC are complied with;**

*Facts:* As described in detail within the "Project Analysis," the proposed construction of a 1,430 sq. ft pre-engineered structure with one spray booth and operating a major auto body repair is within the "M-1" Industrial zone. Conditions of approval will ensure that the major auto body repair will be maintained. The proposal would comply with the criteria under Section 17.64 of the Covina Municipal Code. The site is located within an established area characterized by existing streets, walls, existing structures, and uses that conform well to surrounding neighborhood infrastructure, circulation, and support services. With the proposed modifications, overall, and recommended conditions of approval, the proposed use will have no adverse effect on surrounding properties. **Therefore, as conditioned, this criterion has been met.**

2. **The design and layout of the proposed development are consistent with the general plan, zoning code, development standards of the applicable zoning district, specific plans, design guidelines and objective design standards;**

*Facts:* The expansion of ODA Autowerkz complies with all the applicable regulations as described in the staff report. The facility will protect and maintain the visual aesthetic of the community, which then complies with the General Plan Land Use Objective 1, Section 3. Commercial and Industrial (4) "Maintain its variety of functional commercial office, retail, and service businesses for reasons pertaining to employment, sales tax generation, community image enhancement, and jobs-to-housing ratio maximization." **Therefore, this criterion has been met.**

**The design of the proposed development or the alterations to existing structures will not interfere with the use and enjoyment of existing neighborhood and future development, and will not create traffic or pedestrian hazards;**

**Fact:** The subject site is located within the “M-1” Light Manufacturing Zone and is intended to provide for the development of industrial uses which include fabrication, manufacturing, assembly or processing of materials which will be compatible and not interfere with any of the business surrounding the site. The subject site is within an established area characterized by industrial uses, connecting well to existing neighborhood infrastructure and support services. Proposed improvements to the site are aesthetically pleasing, functional, and visually compatible with neighboring structures and the area within which it is proposed to be located and follow the Covina Municipal Code. **Therefore, this criterion has been met.**

**3. The proposed development has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA);**

**Fact:** The project involves the construction of a 1,430 sq. ft pre-engineered structure with one spray booth and operating auto paint services within an existing a major auto body repair business. Staff has determined that the project is exempt from the requirements of California Environmental Quality Act (CEQA) Guidelines Section 15303 under class 3. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicant zoning designation and regulations. The proposed developments are within city limits on a project site of no more than five acres of substantially surrounded by urban uses. Since the location is within an existing operating business, the project site has no value as habitat for endangered, rare or threatened species. These exemptions are intended to streamline the approval process for projects that are expected to have minimal environmental impact, fitting the criteria set forth by CEQA for certain types of small-scale and urban development projects. **Therefore, this criterion has been met**

**4. The proposed development will not be detrimental to the public health, safety or welfare or materially injurious to the properties or improvements in the vicinity;**

**Facts:** Construction activities during the exterior improvements are not likely to cause serious public health problems. All potentially hazardous materials used during project construction will be disposed of in accordance with manufacturers’ specifications and instructions, thereby reducing the risk of hazardous materials use. In addition, the Project would comply with all applicable federal, state, and local requirements concerning the use, storage, and management of hazardous materials, including but not limited to the Resource Conservation and Recovery Act, California Hazardous Waste Control Law, federal and state Occupational Safety and Health Acts, SCAQMD rules, and permits and associated conditions issued by the Building and Safety Division. **Therefore, as conditioned, this criterion has been met.**

**5. The development complies with the provisions for dedications, public improvements and undergrounding utilities pursuant to CMC 17.64.140 and congestion management and transportation demand management requirements pursuant to CMC 17.64.150;**

**Facts:** All new utility service lines that are installed to serve the tenant space shall be placed underground. The Applicant shall comply with any other utility and/or street improvements required by the Department of Public Works (Engineering, Traffic, and Environmental Services). **Therefore, as conditioned, this condition has been met.**

**PUBLIC HEARING NOTICE AND NOTIFICATION**

All property owners within a radius of at least 300 feet from the overall project site were mailed notices of the Planning Commission public hearing a minimum of ten (10) days before the hearing as required by law. In addition, the public hearing notice for September 10<sup>th</sup>, 2024, was published in the San Gabriel Valley Examiner newspaper on August 29<sup>th</sup>, 2024.

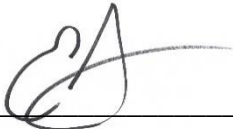
## **ENVIRONMENTAL DETERMINATION**

Staff has determined that the project is exempt from the requirements of California Environmental Quality Act (CEQA) Guidelines under the Class 1 exemption under state CEQA Guidelines Section 15301, which consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The project involves only minor alterations of an existing private structure involving negligible or no expansion of the existing or former use, and is located in an area where all public services and facilities are available. The project involves only exterior improvements/upgrades to accommodate multiple mobile food trailers and install new shade canopies. No structural additions are proposed other than a 4,830-square-foot outdoor seating area gated that's within private property. Approval of this project would not result in any significant effects relating to traffic, noise quality, or water quality. The site can be adequately served by all required utilities and public services. There is no substantial evidence that the project will have a significant effect on the environment.

## **STAFF RECOMMENDATION**

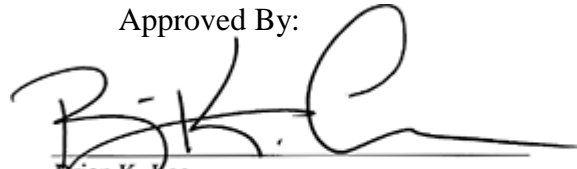
Staff recommends that the Planning Commission adopt Resolution No. 2024-015 PC approving Conditional Use Permit (CUP) 24-002 and Site Plan Review (SPR) 24-24 with the attached Conditions of Approval, and making a determination of exemption of the California Environmental Quality Act (CEQA) guidelines.

Prepared by:



Eduardo Lomeli  
Assistant Planner

Approved By:



Brian K. Lee  
Director of Community Development

## **EXHIBITS**

- A. City Application
- B. Submitted Plans
- C. Resolution No. 2024-015 PC W/ Conditions of Approval

# **ATTACHMENT A**

## **City Application**



# CHECKLIST FOR Conditional Use Permit – Non Development

Community Development Department – Planning Division

125 East College Street • Covina, California 91723 • (626) 384-5450 / Fax: (626) 384-5479

All property in Covina is divided into zones. Each zone is designated with certain permitted, conditional and prohibited uses for the land. The purpose of a “conditional use permit” is to allow for a special review and a determination if the proposed use or the location of that use is compatible with the surrounding uses. In reviewing a conditional use permit application, the staff and Planning Commission will evaluate such items as a building placement, massing, and size, characteristic of the use, traffic generation, noise, hours of operation, adequacy of parking, circulation, proposed intensity, landscaping and overall compatibility of the use with adjoining properties and other related development impacts. Conditions may be imposed as necessary to insure that the proposed use will be compatible with the surrounding properties and environment. The Planning Commission is required to hold at least one public hearing on the Conditional Use Permit Application. At least 10 days prior to the meeting, owners of property within 300 feet of the subject site will be notified by mail of the forthcoming hearing, and a notice of the public hearing will be posted. The Planning Commission’s decision is final, unless an appeal is filed. For further information, refer to Covina Municipal Code Section 17.62.

## SECTION 1: Filing Requirements

- Standard Application Form
- Property Owner’s Authorization Form, Project Contact List Form, Project Description Form
- Four (4) sets of the development plans, FOLDED** (see Section 4), to be reviewed by staff for completeness and accuracy
- One (1) flash drive with complete digital submittal package AND plans** (files smaller than 12.5mb are acceptable as PDF attachments, larger files must be sent via google link, dropbox link, or similar service). **Do NOT embed a google link**
- Public Hearing Information
  - Property ownership list: Two sets of typed, gummed labels on 8-1/2” x 11” sheets, listing the name, address, and assessor’s parcel number of all property owners within 300 feet of the exterior boundaries of the subject property (see format in attached example). The list shall be obtained from the latest equalized assessment roll issued by the Tax Assessor
  - A radius map drawn on the Assessor’s Parcel Maps, spliced together on an 8-1/2” x 11” format, indicating the subject property with a 300 foot radius drawn around the property as shown in the attached example
  - An affidavit certifying property owners’ list

## SECTION 2: Filing Fees

Contact the Planning Division to determine which fees are applicable

- Conditional Use Permit ..... See current fee list
- Public Works – Environmental Services ..... See current fee list

## SECTION 3: Plan Preparation Guidelines

Plans not conforming to these guidelines will not be accepted for processing

- 1. All plans shall be drawn on uniform size sheets no greater than 24” by 36” in size
- 2. All plans shall be drawn to an engineering scale of 1” = 20’, 1” 30’, 1” = 40’, or 1” = 50’ with the scale clearly labeled and with the north arrow oriented towards the top of the sheet
- 3. All required plans shall be collated and stapled together as an individual development plan set; each set shall be folded to the size of 8” by 13” and secured with a rubber band

- 4. All plans shall be clear, legible, and accurately scaled

#### **SECTION 4: Contents of Development Plans**

The items listed below are considered a minimum; additional information may be necessary for clarification during the review process

##### **A. Detailed Site Plan shall include the following:**

- Name, address, and phone number of the applicant and the author of the plan (architect, engineer, etc.)
- Property lines with lot dimensions
- Dimensioned locations of:
  - Setbacks (actual) from all buildings to street curb face and the side and rear property lines
  - Existing street dedications and improvements, including curbs, gutters, sidewalks, and paving widths
  - Nearby areas and driveways
  - Dimensions and square footage of all buildings, structures including the main house, garage, porches, decks, patios and sheds
  - Distances between buildings and/or structures
- Location, height, and materials of the walls and fences (Sections if required)
- Existing improvements to the property, and the location of the proposed uses

##### **B. Elevations shall include the following:**

- All sides of building elevations for all existing and proposed building and structures. Label North, South, East West elevations
- Label all existing and proposed building materials

##### **C. Floor Plan shall include the following:**

###### **Residential**

- All floors, including labels use of each room (bedroom, kitchen, game room, etc.)
- Dimension all exterior walls, doors, windows, and room sizes

###### **Non-Residential**

- N/A*  The proposed seating arrangement and number of seats and aisle-ways
- The location of interior uses (i.e. office, bathroom, waiting area, etc.)
- Dimension all room sizes, corridors and hallways, and aisle widths
- Show existing and proposed improvements

- N/A*  Churches and schools shall also indicate location of public assembly rooms (i.e., sanctuary or other meeting rooms for 50 or more persons) and classrooms, nurseries, exit pathway and doors, location of existing or proposed 1-hour fire-rated walls, and label the number of children and adults in each classroom

##### *N/A* **D. Roof Plans shall include the following: (if applicable)**

- N/A*  Show locations of existing and new roof mounted equipment and/or projections
- N/A*  Cross sections showing roof parapet can screen the roof mounted equipment and/or projections

**ALL PLANS ARE TO BE FOLDED, BY THE APPLICANT, PRIOR TO SUBMITTAL.**

**NOTE: After the Conditional Use Permit is approved by the Planning Commission, please contact Building & Safety Division for additional and specific requirements and fees for Building Plan Review Submittal.**



# Standard Application Form – 1

## Community Development Department – Planning Division

125 East College Street • Covina, California 91723 • (626) 384-5450 / Fax: (626) 384-5479

### Applicant Information

Proposed Project Name: <b>ODA AUTOWERKZ</b>		<b>STAFF USE ONLY</b>
Project Address: <b>813 E SAN BERNARDINO RD, COVINA, CA 91723</b>		
Assessor's Parcel Number (APN): <b>8429-010-013</b>		
Applicant Name: <b>JACK LANPHERE</b>		
Phone: <b>619-884-1421</b>	E-Mail: <b>JACK@LSARCHINC.COM</b>	File No. _____
Applicant address: <b>38516 AMATEUR WAY, BEAUMONT, CA 92223</b>		Assigned Planner: _____
Property Owner Name (if different than above): <b>GERARDO CHAVES</b>		
Property Owner Contact Information: <b>KEVIN HOLLINGSWORTH (PROPERTY MANAGER) EMAIL: REQUEST@LHREM.COM</b>		
Property Owner Address: <b>PO BOX 37, SAN DIMAS, CA 91773</b>		
CC Property Owner in Correspondence? <input checked="" type="radio"/> Yes <input type="radio"/> No		

### Project Type

Please check the type of project review requested. If you are applying for more than one review you may check all that apply.

- |  |  |   |
|--|--|---|
| <input checked="" type="checkbox"/> Conditional Use Permit   | <input type="checkbox"/> PCD Amendment   | <input type="checkbox"/> Tree Preservation Permit<br><input type="checkbox"/> Minor |
| <input type="checkbox"/> Development Agreement               | <input type="checkbox"/> Public Convenience or necessity (ABC)                           | <input type="checkbox"/> Vacation of Alley, Easement, Street                        |
| <input type="checkbox"/> General Plan Amendment              | <input type="checkbox"/> Site Plan Review-Major  | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Historic Structure Designation      | <input type="checkbox"/> Site Plan Review-Minor (Residential)                            | <input type="checkbox"/> Variance (Minor)   |
| <input type="checkbox"/> Lot Line Adjustment/Lot Merger      | <input type="checkbox"/> Site Plan Review-Minor (Non-Residential)                        | <input type="checkbox"/> Zoning Code Amendment/ Zone Change                         |
| <input type="checkbox"/> Pre-Application Review              | <input type="checkbox"/> Tentative Parcel Map<br><input type="checkbox"/> Time Extension | <input type="checkbox"/> _____<br>(Other)   |
| <input type="checkbox"/> Planned Community Development (PCD) | <input type="checkbox"/> Tentative Tract Map<br><input type="checkbox"/> Time Extension  | <input type="checkbox"/> _____<br>(Other)   |

### Project Description

Provide as much detail as possible/attach additional pages if necessary

The project proposes to construct a 1,620 square feet pre-engineered metal building for auto body paint booth work.

### Property Owner Certification

I certify that I am presently the legal property owner of the above described property. Further, I acknowledge the filing of this application and certify that all of the above information is true and correct. If applicant is different from the legal property owner, a property owner's authorization form must accompany this application (Standard Application – 2). Insert N/A below if submitting authorization form.

Date: N/A Signature: N/A

Print Name and Title: N/A

### STAFF USE ONLY

Date Received:	Received by:	Fees:	Receipt No:
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# Standard Application – 2 Property Owner’s Authorization Form

Community Development Department – Planning Division

125 East College Street • Covina, California 91723 • (626) 384-5450 / Fax: (626) 384-5479

List the name(s) and address(es) of all property owner(s).

1. Owner Name: GERARDO CHAVES  
Complete Address: PO BOX 37, SAN DIMAS, CA 91773  
Email: REQUEST@LHREM.COM Phone: 626-967-2000

~~2. Owner Name: \_\_\_\_\_  
Complete Address: \_\_\_\_\_  
Email: \_\_\_\_\_ Phone: \_\_\_\_\_~~

~~3. Owner Name: \_\_\_\_\_  
Complete Address: \_\_\_\_\_  
Email: \_\_\_\_\_ Phone: \_\_\_\_\_~~

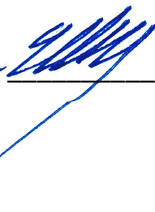
### Certification Statement

This letter shall serve to notify you and certify that I/we am/are the legal owner(s) of the property described in the attached application and do hereby authorize:

Applicant’s Name: JACK LANPHERE Phone: 619-884-1421  
Applicant’s Complete Address: 38516 AMATEUR WAY, BEAUMONT, CA 92223 Email: INFO@LSARCHINC.COM

To file and present my/our interest for the referenced application(s): APN #: 8429-010-013

Name (printed): KEVIN HOLLINGSWORTH  
Title: PROPERTY MANAGER Date: 03/13/24

Signature: 



# Standard Application – 3 Project Description Form

Community Development Department – Planning Division

125 East College Street • Covina, California 91723 • (626) 384-5450 / Fax: (626) 384-5479

**The following information must be completed and submitted with new applications: (Print or type all information entered)**

### A. General Information

Project Address or Assessor's Parcel Number: APN: 8429-010-013

Site Area: 0.36 ACRES Building Area: 1,620 SQ.FT. Building Height: 14'-0" No. of Floors: 1

Total anticipated number of employees: 5 Max shift: 3 Hours of operation: 9AM-5PM

Does the business involve the sale of any food or beverages?  No  Yes

Will the project be built in phases?  No  Yes If **YES**, a phasing plan is required to be submitted.

Will any permits be required from agencies other than the City (including a Hazardous Materials Business Plan)?

No  Yes If yes, list: \_\_\_\_\_

Will the project use, store, or dispose of potentially hazardous chemicals, materials, toxic substances, flammables or explosives?  No  Yes If yes, describe: \_\_\_\_\_

If any of the above answers are **YES**, please describe in detail on a separate sheet.

### B. Existing Land Uses of the Subject and Surrounding Properties

Subject property: M-1; COMMERCIAL, AUTO BODY REPAIR & SERVICE

North: M-1; GOVERNMENT PARCEL, SOUTHERN PACIFIC RAILROAD

East: M-1; COMMERCIAL

South: EAST SAN BERNARDINO ROAD

West: M-1; COMMERCIAL, AUTO, RECREATION EQPT, CONSTRUCTION EQPT, SALES & SERVICE

### C. Physical Site

Will the project modify existing natural features?  No  Yes If **YES**, please describe in detail on a separate sheet?

Estimated cubic yards of grading involved in the project:  None  Cut = \_\_\_\_\_ Fill = \_\_\_\_\_

What is the maximum height and grade of constructed slopes? N/A, NO SLOPES

### D. Archaeological/Historical

Is the project located in an area of archaeological or historical sensitivity as identified in the Covina General Plan?

No  Yes If **YES**, please describe in detail on a separate sheet.

### E. Flora and Fauna

Describe the types of vegetation and trees in the project area: NONE

Number of Oak trees on the site: 0 Number of Oak trees to be removed: 0 a Tree Permit application must be obtained

Describe the types of wildlife found in the project area: NONE

**F. Noise**

Will the project increase noise levels within the project area of surrounding neighborhood?

No  Yes If **YES**, please describe in detail on a separate sheet

Will the project increase the amount of light, vibration, dust, ash, smoke, or odors during construction or after development?  No  Yes If **YES**, please describe in detail on a separate sheet.

**G. List of Attached Environmental Reports**

NONE

Contact person for environmental: N/A Phone: N/A

Environmental firm: N/A E-mail: N/A

Mailing Address: N/A

**H. Certifications**

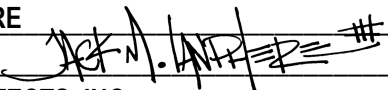
Government Code Section 65962.5 requires the Planning Division to make available to applicants the most current list of "Identified Hazardous Waste Sites" from the State Office of Planning and Research. The list is available on the web at [http://www.dtsc.ca.gov/SiteCleanup/Cortese\\_List](http://www.dtsc.ca.gov/SiteCleanup/Cortese_List) under Mandated Web Site Postings.

All applicants must complete and sign the following statement in order for the Planning Division to deem the application complete.

"I, JACK LANPHERE, certify that I have reviewed the list of "Identified Hazardous Waste Sites" from the Office of Planning and Research and have determined that the site that is the subject of this application is not on said list."

I hereby certify that to the best of my ability, the statements furnished above and the exhibits submitted with this application present the data and information required for this initial evaluation and that the facts, statements, and information presented are true and correct to the best of my knowledge. Furthermore, I understand that failure to provide the plans and information required may result in this application not being accepted as complete for planning and processing.

Name (printed): JACK LANPHERE Date: MARCH 11, 2024

Signature: 

Representative for: L & S ARCHITECTS, INC.

Title: ARCHITECT



# Standard Application - 4

## Project Contact List

Community Development Department – Planning Division

125 East College Street • Covina, California 91723 • (626) 384-5450 / Fax: (626) 384-5479

**The following information must be completed and submitted with new applications: (Print or type all information entered)**

<i>Project Location:</i> 813 E SAN BERNARDINO RD, COVINA, CA 91723		<b>STAFF USE ONLY</b> <b>FILE NO.:</b>  <b>MUNIS:</b>  <b>RELATED FILES:</b>
<i>Applicant:</i> JACK LANPHERE		
<i>Primary Contact Person:</i> JACK LANPHERE		
<i>Address:</i> 38516 AMATEUR WAY, BEAUMONT, CA 92223		
<i>Phone:</i> 619-884-1421	<i>Fax:</i> NONE	<i>E-mail Address:</i> INFO@LSARCHINC.COM

~~*Secondary Contact Person: (Please Specify Name, Company, Title)*~~

~~*Address:*~~

~~*Phone:* *Fax:* *E-mail Address:*~~

*Legal Property Owner:*

*Address:*

*Phone:* *Fax:* *E-mail Address:*

*Architect:* L & S ARCHITECTS, INC. *Contact Person:* JACK M. LANPHERE III, ARCHITECT, C-38052

*Address:* 38516 AMATEUR WAY, BEAUMONT, CA 92223

*Phone:* 619-884-1421 *Fax:* NONE *E-mail Address:* INFO@LSARCHINC.COM

~~*Engineer* *Contact Person:*~~

~~*Address:*~~

~~*Phone:* *Fax:* *E-mail Address:*~~

~~*Landscape Architect* *Contact Person:*~~

~~*Address:*~~

~~*Phone:* *Fax:* *E-mail Address:*~~



# Housing Division Supplemental Checklist

Community Development Department – Planning Division

125 East College Street • Covina, California 91723 • (626) 384-5450 / Fax: (626) 384-5479

1. Project Address: 813 E SAN BERNARDINO RD, COVINA, CA 91723
2. Existing Square Footage of Building: 825 SQUARE FEET
3. Is the structure/building being demolished?  Yes  No  
If yes: what is the square footage of demolition proposed? N/A  
How many units are being demolished? N/A
4. What type of use is being demolished? i.e. residential (include number of units), Commercial, Office.  
NONE
5. What is the square footage of commercial/industrial/office use proposed? Please specify what type:  
COMMERCIAL BUILDING: 1,620 SQUARE FEET
6. What is the total number of housing units proposed at te project site? NONE
7. Will this project require a Tentative Tract Map (TTM) or Tentative Parcel Map (TPM)? NO  
If so, how many subdivisions? N/A



# Standard Application - 5 Non-Residential Project Summary Table

Community Development Department – Planning Division

125 East College Street • Covina, California 91723 • (626) 384-5450 / Fax: (626) 384-5479

## PROJECT INFORMATION

Project Name: ODA AUTOWERKZ

Project Address: 813 E SAN BERNARDINO RD, COVINA, CA 91723

General Plan: COMMERCIAL

Zoning District: M-1 LIGHT MANUFACTURING ZONE

### PROJECT AREA

Gross	0.357 Acres
Net (Exclusive of dedication for major external and secondary streets)	0.357 Acres

### AREA DISTRIBUTION (Net Area) Acres/Sq. FT. % of Net Project Area

AREA DISTRIBUTION (Net Area)	Acres/Sq. FT.	% of Net Project Area
Building Coverage	2,445 SQUARE FEET	15.73%
Landscape Coverage	0 SQUARE FEET	0.00%
Vehicular Coverage (Including parking, drive aisles, etc.)	12,000 SQUARE FEET	77.22%
Floor Area Ratio	2,445 SQ.FT. ÷ 15,540 SQ.FT.	0.16

### FLOOR AREA DISTRIBUTION BY PROPOSED USE (Based on Net Area)

Area of Building Pad	No. of Stores	Gross Floor Area	Proposed Use
1,620 SQ.FT.	1	1,620 SQ.FT.	<b>COMMERCIAL, AUTO BODY</b>

### PARKING ( Calculate Each Use Within a Building Separately)

Type of Use	Parking Ratio	# Spaces Req.	# Spaces Provided
<b>AUTO BODY / PAINT SHOP</b>	<b>3 PER ROLL-UP DOOR</b>	<b>9 SPACES</b>	<b>9 SPACES</b>
<b>Total:</b>		<b>9 SPACES</b>	<b>9 SPACES</b>



# Standard Application - 6 Residential Project Summary Table (5 or more Lots/Units)

Community Development Department – Planning Division

125 East College Street • Covina, California 91723 • (626) 384-5450 / Fax: (626) 384-5479

## PROJECT INFORMATION

Project Name: ODA AUTOWERKZ  
 Project Address: 813 E SAN BERNARDINO RD, COVINA, CA 91723  
 General Plan: COMMERCIAL  
 Zoning District: M-1 LIGHT MANUFACTURING ZONE

## PROJECT AREA

Gross \_\_\_\_\_ Acres  
 Net (Exclusive of dedication for major external and secondary streets) \_\_\_\_\_ Acres

DWELLING UNITS (Based on Net Area)	Number	Net Density
Single Family Detached		
Duplex		
Multi Family		
Bachelor		
One Bedroom		
Two Bedroom		
Three Bedroom		
Four Bedroom		
Total:		

AREA DISTRIBUTION (Based on Net Area)	Acres/Sq. Ft.	% of Net Project Area
Building Coverage		
Landscape Coverage		
Common Open Space		
Private Open Space		
Usable Open Space (Common + Private)		
Floor Area Ratio		

PARKING	Parking Ratio	# of Units	Spaces Req'd	Spaces Provided
Single Family Detached				
Duplex				
Multi Family				
Bachelor				
One Bedroom				
Two Bedroom				
Three Bedroom				
Four Bedroom				
Guest Parking				
Total:				

# **ATTACHMENT B**

## **Project Plans**



**PROJECT INFO**

APN	8429-010-013	
APPLICATION TYPE	CONDITIONAL USE PERMIT	
EXISTING ZONING	M-1, LIGHT MANUFACTURING ZONE	
EX. LAND USE	INDUSTRIAL, AUTO BODY	
PROPOSED LAND USE	SAME (NO CHANGES)	
OCCUPANCY CLASSIFICATION	STORAGE GROUP S-1	

**LOT COVERAGE**

EXISTING BLDG. (NO CHANGES)	1,295 SQ.FT.	8.33%
LANDSCAPE & PERMEABLE SURFACES	285 SQ.FT.	1.83%
HARDSCAPE (PAVEMENT, CONCRETE, ETC.)	13,960 SQ.FT.	89.84%
<b>TOTAL SITE AREA:</b>	<b>(0.357 ACRES) ±15,540 SQ.FT.</b>	<b>100.00%</b>

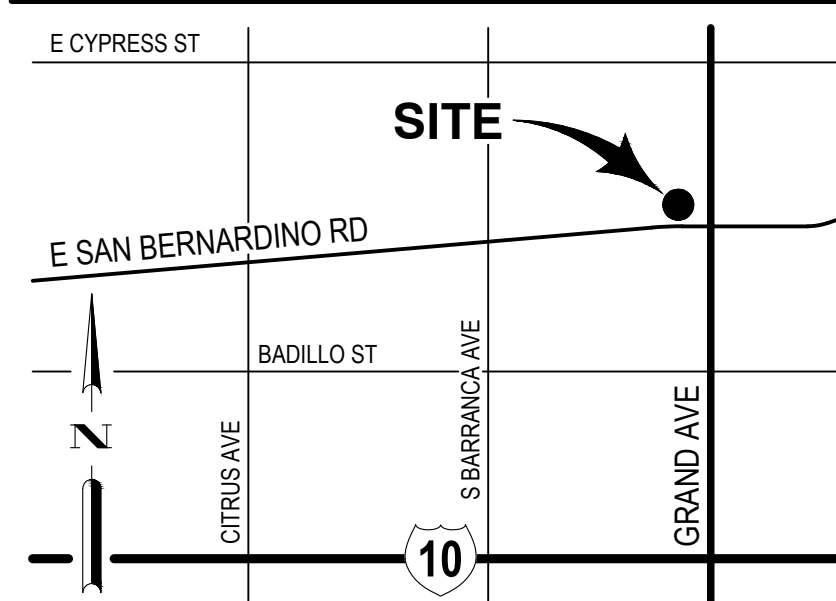
**GENERAL NOTES**

EXISTING CONDITIONS TO REMAIN UNLESS NOTED OTHERWISE. PROTECT IN-PLACE. REPAIR AND MATCH EXISTING WHERE REQD.

**SITE PLAN KEY NOTES**

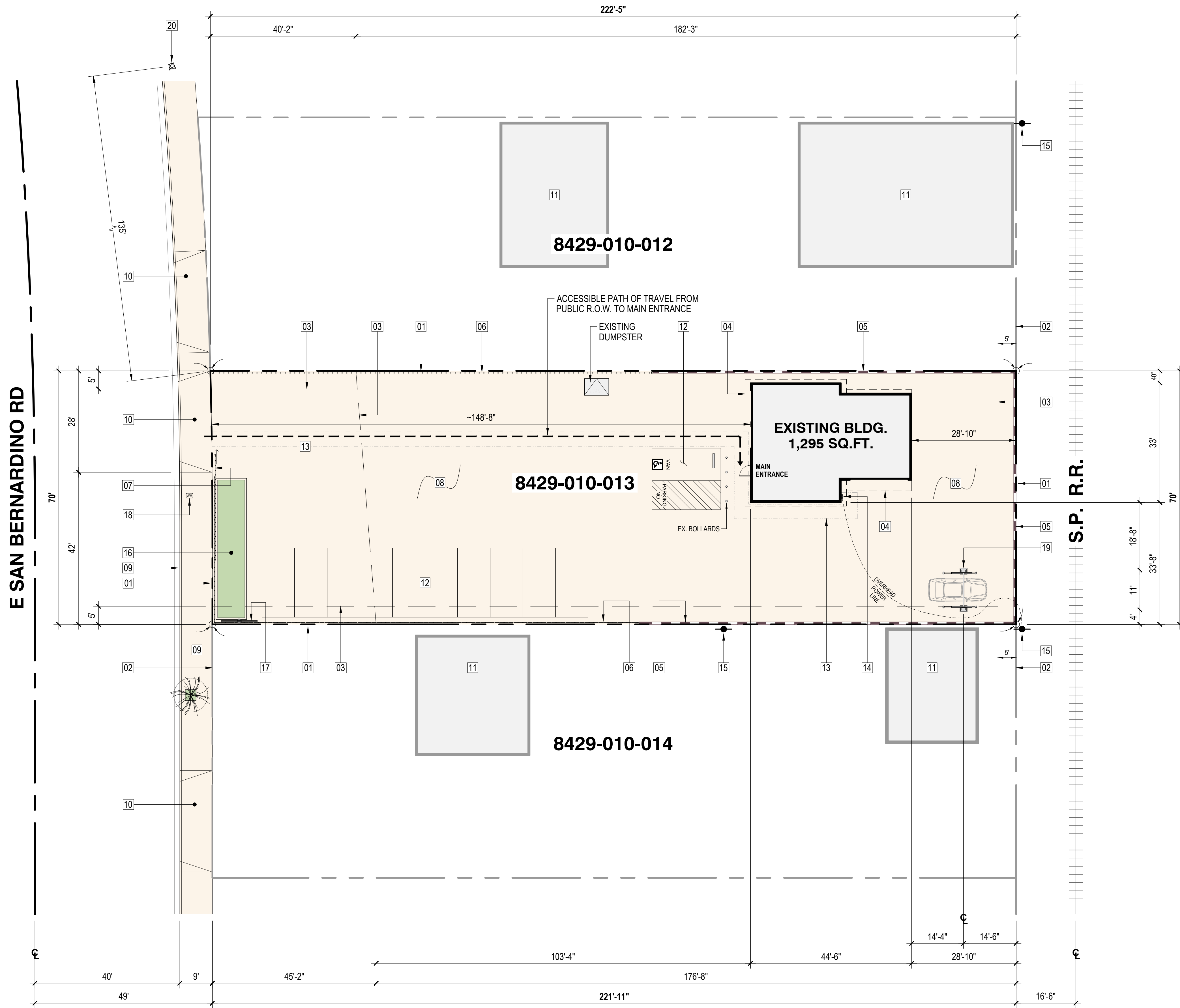
- 01 PROPERTY LINES TYP.
- 02 ADJACENT PROPERTY LINES TYP.
- 03 SETBACK LINES / EASEMENTS
- 04 ROOF LINES TYP.
- 05 7' TALL EXISTING BLOCK WALLS (TO REMAIN)
- 06 6' TALL EXISTING FENCING + SCREENING (TO REMAIN)
- 07 EXISTING ROLLING GATE (TO REMAIN)
- 08 EXISTING CONCRETE PAVED AREAS
- 09 PUBLIC R.O.W. EXISTING SIDEWALK, CURB & GUTTER
- 10 EXISTING DRIVEWAY
- 11 EXISTING STRUCTURES ON ADJACENT PROPERTIES
- 12 EXISTING PARKING SPACES
- 13 EXISTING UTILITY ACCESS EASEMENT
- 14 EXISTING ELECTRICAL PANEL LOCATION (TO REMAIN)
- 15 EXISTING POWER POLES
- 16 EXISTING LANDSCAPE PLANTER WITH 6" CURB PERIMETER (TO REMAIN)
- 17 EXISTING POLE MOUNTED SIGNAGE (TO REMAIN)
- 18 EXISTING WATER METER P.O.C.
- 19 EXISTING 12' TALL 2-POST VEHICLE LIFT
- 20 EXISTING FIRE HYDRANT (BEYOND)

**VICINITY MAP**



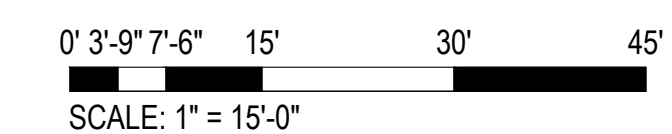
**EXISTING SITE PLAN**

SCALE: 1" = 15'-0"



**EXISTING BUSINESS OPERATIONS**

THE EXISTING BUSINESS OPERATIONS CONSIST OF AUTOMOBILE DETAILING, BODYWORK, AND PAINTING SERVICES. THE EXISTING 1,295 SQ.FT. BUILDING COMPRISES 2 GARAGES AND AN OFFICE. REFER TO FLOOR PLAN FOR MORE INFO.

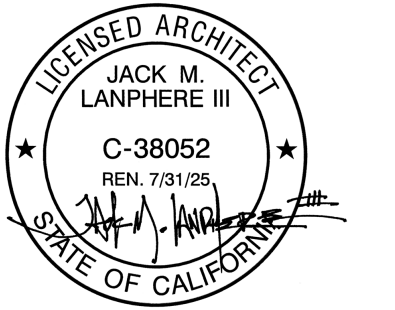


ARCHITECT OF RECORD:

**L&S ARCHITECTS, INC.**

JACK M. LANPHERE III, ARCHITECT C-38052

38516 AMATEUR WAY, BEAUMONT, CA 92223  
909.229.0125 E-MAIL: LA811@AOL.COM  
LSARCHINC.COM



CONSULTANT:

NO.	PLAN/CHECK REVISION	DATE
△	-	--/--
△	-	--/--
△	-	--/--

**PROJECT FOR:**  
**ODA AUTOWERKZ, LLC**

813 E SAN BERNARDINO RD  
 COVINA, CA 91723

**CONDITIONAL USE PERMIT APPLICATION**

PLAN CHECK NO:	24-002
PROJECT TYPE: COMMERCIAL, NEW CONSTRUCTION	APN: 8429-010-013
OCCUPANCY: GROUP S-1 TYPE OF CONSTRUCTION: V-B	ZONING: M-1, LIGHT MANUFACTURING ZONE
DATE: 10/10/2023	REVISED: 06/14/2024
	PAGE SIZE: 24" X 36"
	V: 1.20

SHEET TITLE:

**EXISTING  
SITE PLAN**

SHEET NO.

**A-1.00**



### PROJECT INFO

APN	8429-010-013	
APPLICATION TYPE	CONDITIONAL USE PERMIT	
EXISTING ZONING	M-1, LIGHT MANUFACTURING ZONE	
EX. LAND USE	INDUSTRIAL, AUTO BODY	
PROPOSED LAND USE	SAME (NO CHANGES)	
OCCUPANCY CLASSIFICATION	STORAGE GROUP S-1	
FRONT YARD SETBACK	25'	
REAR YARD SETBACK	5'	
SIDE YARD SETBACK	5'	
HEIGHT	50' MAX.	

### LOT COVERAGE

EXISTING BLDG. (NO CHANGES)	1,295 SQ.FT.	8.33%
PROPOSED BUILDING	1,430 SQ.FT.	9.20%
LANDSCAPE & PERMEABLE SURFACES	2,057 SQ.FT.	13.24%
HARDSCAPE (PAVEMENT, CONCRETE, ETC.)	10,758 SQ.FT.	69.23%
<b>TOTAL SITE AREA:</b>	<b>(0.357 ACRES)</b> <b>±15,540 SQ.FT.</b>	<b>100.00%</b>

### GENERAL NOTES

EXISTING CONDITIONS TO REMAIN UNLESS NOTED OTHERWISE. PROTECT IN-PLACE. REPAIR AND MATCH EXISTING WHERE REQD.

### SITE PLAN KEY NOTES

- 01 PROPERTY LINES TYP.
- 02 ADJACENT PROPERTY LINES TYP.
- 03 SETBACK LINES / EASEMENTS
- 04 ROOF LINES TYP.
- 05 EXISTING 7' TALL BLOCK WALLS (TO REMAIN)
- 06 EXISTING 6' TALL FENCING + SCREENING (TO REMAIN)
- 07 EXISTING ROLLING GATE (TO REMAIN)
- 08 EXISTING CONCRETE PAVED AREAS
- 09 PUBLIC R.O.W. EXISTING SIDEWALK, CURB & GUTTER
- 10 EXISTING DRIVEWAYS
- 11 EXISTING STRUCTURES ON ADJACENT PROPERTIES
- 12 NOT USED
- 13 EXISTING UTILITY ACCESS EASEMENT
- 14 EXISTING ELECTRICAL PANEL LOCATION (TO REMAIN)
- 15 EXISTING POWER POLES
- 16 EXISTING LANDSCAPE PLANTER WITH 6" CURB PERIMETER (TO REMAIN)
- 17 EXISTING POLE MOUNTED SIGNAGE (TO REMAIN)
- 18 EXISTING WATER METER P.O.C.
- 19 NOT USED
- 20 EXISTING FIRE HYDRANT (BEYOND)
- 21 PROPOSED ACCESSIBLE PARKING SPACE 9' X 19'
- 22 PROPOSED STRIPING FOR STANDARD 9' X 19' SPACES
- 23 PROPOSED BICYCLE RACKS
- 24 PROPOSED DETECTABLE WARNING REQ'S. SHALL EXTEND 36" MIN. IN THE DIRECTION OF TRAVEL & SHALL BE LOCATED AT CURB RAMPS & HAZARDOUS VEHICULAR AREAS PER 2022 CBC SEC. 11B-406.5.12 & 11B-705.
- 25 PROPOSED LANDSCAPE PLANTING AREAS WITH ALL NEW TREES & SHRUBS.
- 26 PROPOSED INFILTRATION BASIN
- 27 PROPOSED ACCESSIBLE SITE ENTRANCE SIGN
- 28 PROPOSED LED LIGHT STANDARDS WITH SHIELDING TO PREVENT SPILLOVER ON ADJACENT PROPERTY

### PARKING LOAD ANALYSIS

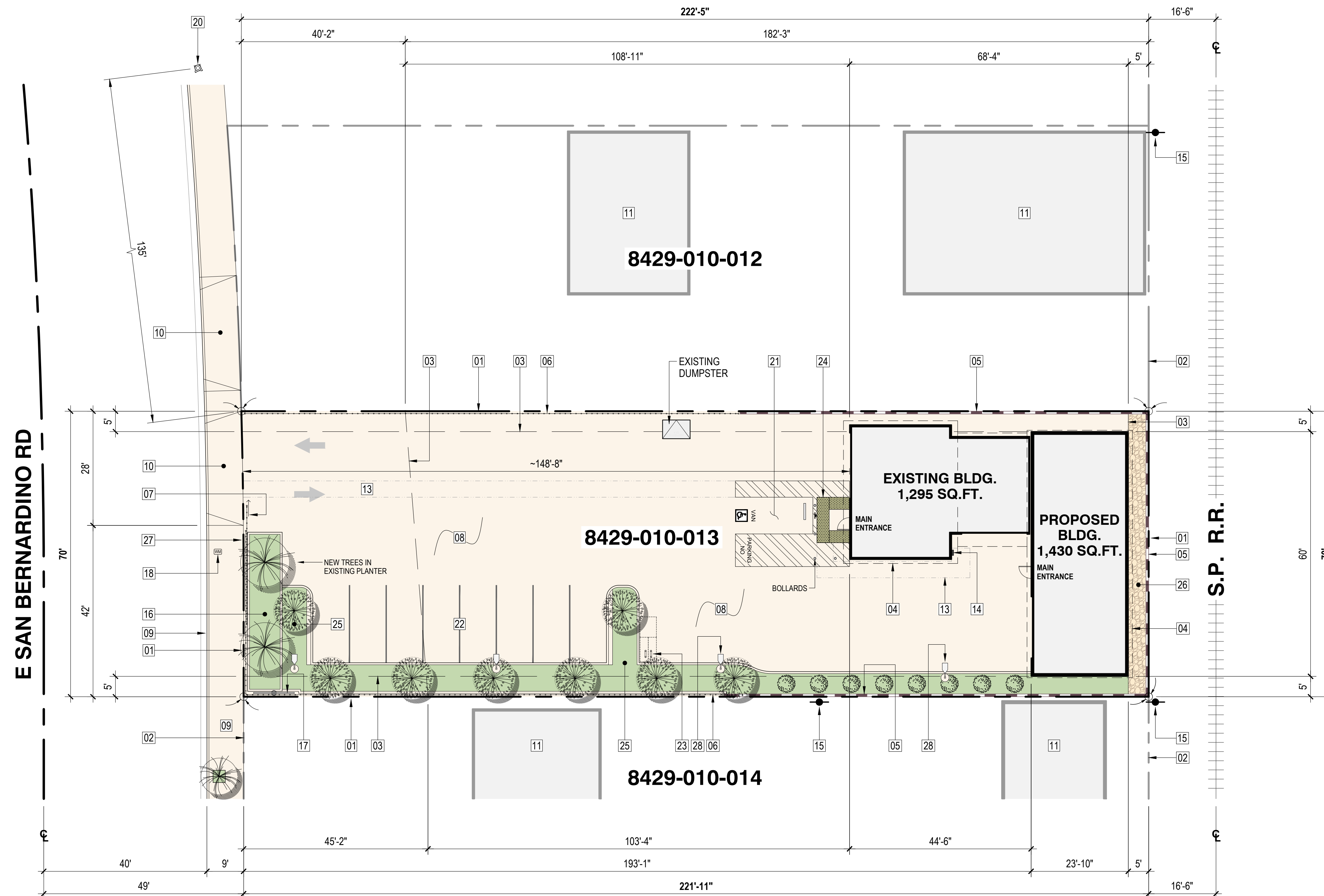
LAND USE / REQUIREMENTS	PARKING LOAD FORMULA	QTY. UNDER CONSIDERATION	FORMULA CALCULATION	PARKING REQUIRED		PARKING PROVIDED	
				STANDARD	ACCESSIBLE	STANDARD	ACCESSIBLE
AUTO BODY / PAINT SHOPS <sup>01</sup>	3 PER ROLL-UP DOOR <sup>01</sup>	1 ROLL-UP DOOR	X x 1 = 3	8 SPACES	1 (INCL. 1 VAN)	8 SPACES	1 (INCL. 1 VAN)
BUSINESS OFFICE <sup>02</sup>	1:250 SQ.FT. OF GFA <sup>02</sup>	1,295 SQ.FT.	X + 250 = 5.18				
<b>TOTAL PARKING REQUIRED</b>				<b>9 SPACES</b>			
				<b>TOTAL PARKING PROVIDED</b>		<b>9 SPACES</b>	

- 01 AUTOMOTIVE BODY AND PAINT SHOPS: THREE SPACES PER SERVICE BAY OR ROLL-UP DOOR, WHICHEVER IS GREATER, PLUS ADDITIONAL PARKING SPACES BASED ON THE APPLICABLE FLOOR AREA STANDARD FOR OFFICE/RETAIL/CUSTOMER AREAS. (CMC 17.72.010)
- 02 BANKS, BUSINESS OR PROFESSIONAL OFFICES: ONE FOR EACH 250 SQUARE FEET OF GROSS FLOOR AREA. (CMC 17.72.010)

### ADDITIONAL PARKING REQ'S.

TYPE	QTY. REQUIRED	QTY. PROVIDED
CLEAN AIR / VANPOOL / EV	0 SPACES <sup>01</sup>	0 SPACES
FUTURE EV CHARGING	0 SPACES <sup>02</sup>	0 SPACES
ACCESSIBLE EVCS	0 SPACES (INCL. 0 VAN) <sup>03</sup>	0 SPACES (INCL. 0 VAN)
BICYCLE	2 SPACES <sup>04</sup>	2 SPACES

- 01 DESIGNATED PARKING FOR ANY COMBINATION OF LOW-EMITTING, FUEL-EFFICIENT AND CARPOOL / VAN POOL VEHICLES (2022 CGC 5.106.5.2) (OVERLAP WITH EV SPACES PERMITTED)
- 02 NEW CONSTRUCTION SHALL FACILITATE FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) (2022 CGC 5.106.5.3) QTY. REQD. PER 2022 CGC TABLE 5.106.5.3.3 (INCL. ACCESSIBLE EVCS)
- 03 ACCESSIBLE ELECTRIC VEHICLE CHARGING SPACES (EVCS) COMPLYING WITH SECTION 11B-812 SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 11B-228.3.2.1
- 04 MIN. REQD. = 5% OF NEW VISITOR MOTORIZED VEHICLE PARKING SPACES BEING ADDED, WITH A MIN. OF ONE TWO-BIKE CAPACITY RACK PER 2022 CGC 5.106.4.1.1

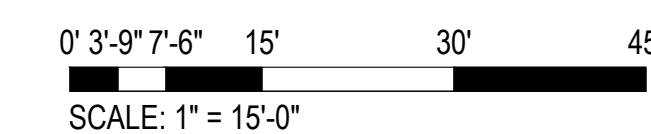


### PROPOSED BUSINESS OPERATIONS

THE EXISTING BUSINESS OPERATIONS SHALL REMAIN THE SAME. AUTOMOBILE DETAILING, BODYWORK, AND PAINTING SERVICE. THE PROPOSED 1,430 SQ.FT. METAL BLDG SHALL BE USED FOR AUTO BODY WORK AND A NEW PRE-MANUFACTURED PAINT BOOTH INSTALLATION, REFER TO SHEET A-2.10.

## PROPOSED SITE PLAN

SCALE: 1" = 15'-0"



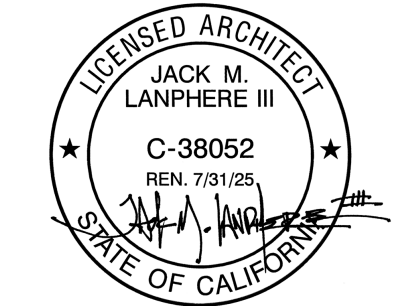
N →  
NORTH

ARCHITECT OF RECORD:

**L&S**  
ARCHITECTS, INC.

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38516 AMATEUR WAY, BEAUMONT, CA 92223  
909.229.0125 E-MAIL: LA811@AOL.COM  
LSARCHINC.COM



CONSULTANT:

NO.	PLAN/CHECK REVISION	DATE
△	-	--/--
△	-	--/--
△	-	--/--

PROJECT FOR:  
**ODA AUTOWERKZ, LLC**

813 E SAN BERNARDINO RD  
COVINA, CA 91723

### CONDITIONAL USE PERMIT APPLICATION

PLAN CHECK NO:	24-002
PROJECT TYPE: COMMERCIAL, NEW CONSTRUCTION	APN: 8429-010-013
OCCUPANCY: GROUP S-1 TYPE OF CONSTRUCTION: V-B	ZONING: M-1, LIGHT MANUFACTURING ZONE
DATE: 10/10/2023	REVISED: 06/14/2024
	PAGE SIZE: 24" X 36"
	V: 1.20

SHEET TITLE:

**PROPOSED  
SITE PLAN**

SHEET NO.

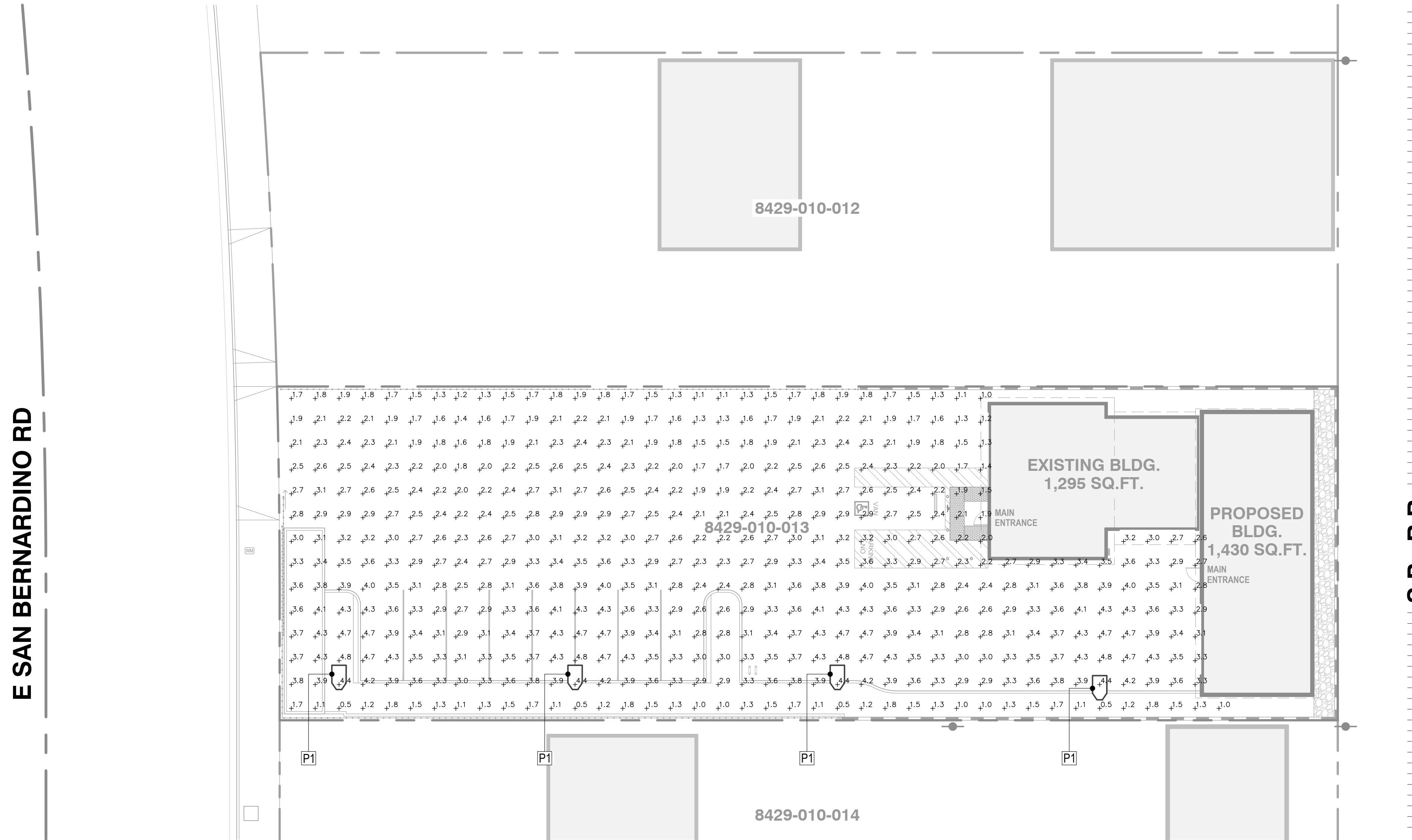
**A-1.10**

# LIGHTING FIXTURE SCHEDULE

TAG	SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	OPTIONS	MOUNTING	FINISH	LOCATION / FIXTURE RATED	LAMP	COLOR TEMP	CONTROLS	WATTS	VOLTS	NOTES
P1		POLE LIGHT - T4M	LITHONIA LIGHTING	DSX1	12309 LUMENS, 80 CRI, T4M DISTRIBUTION, 20' HEAD	POLE MOUNTED	TBD	INDOOR	LED	3500K	0-10V	102	120V	CONFIRM FINISH WITH ARCHITECT PRIOR TO SUBMIT SHOP DRAWINGS

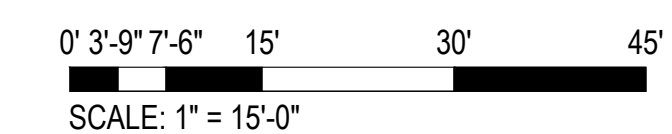
- 01 PROVIDE ALL REQUIRED HARDWARE, CABLES, ETC., FOR A FULLY FUNCTIONAL INSTALLATION.
- 02 REFER TO ARCHITECTURAL & LIGHTING PLANS AND SPECIFICATIONS FOR EXACT REQUIREMENTS, LOCATION & INSTALLATION.
- 03 HALF OR FULL SHADED FIXTURES SHALL HAVE INTEGRAL BATTERY WITH TEST SWITCH (UNLESS NOTED OTHERWISE).

STATISTICS					
DESCRIPTION	AVG	MAX	MIN	MAX/MIN	AVG/MIN
SITE AREA	3.4 fc	5.3 fc	1.5 fc	3.5:1	2.3:1



# PROPOSED SITE PLAN - PHOTOMETRIC CALCULATION

SCALE: 1" = 15'-0"



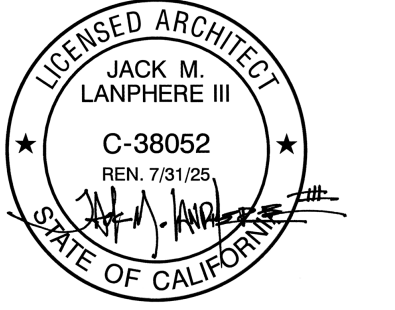
N →  
NORTH

ARCHITECT OF RECORD:

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LSARCHINC.COM



CONSULTANT:

NO.	PLANCHHECK REVISION	DATE
△	--	--/--
△	--	--/--
△	--	--/--

PROJECT FOR:  
**ODA AUTOWERKZ, LLC**  
813 E SAN BERNARDINO RD  
COVINA, CA 91723

### CONDITIONAL USE PERMIT APPLICATION

PLAN CHECK NO:	24-002
PROJECT TYPE: COMMERCIAL, NEW CONSTRUCTION	APN: 8429-010-013
OCCUPANCY: GROUP S-1 TYPE OF CONSTRUCTION: V-B	ZONING: M-1, LIGHT MANUFACTURING ZONE
DATE: 10/10/2023	REVISED: 06/14/2024
	PAGE SIZE: 24" X 36"
	V: 1.20

SHEET TITLE:

**PROPOSED  
SITE PLAN  
PHOTOMETRIC  
CALCULATION**

SHEET NO.

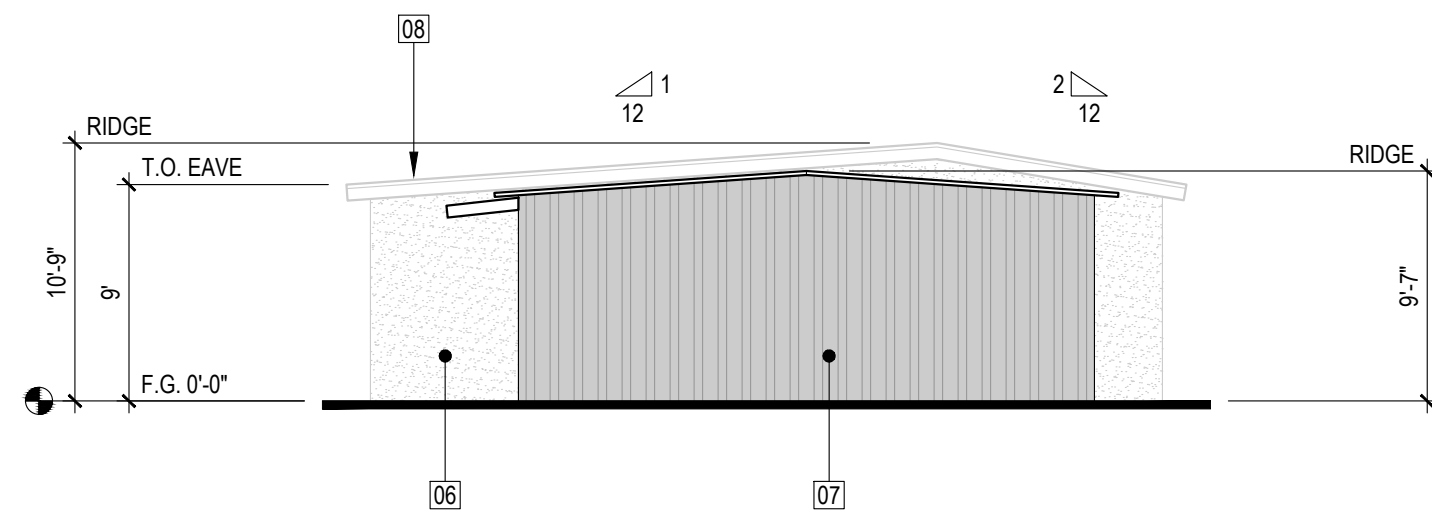
**A-1.20**



#	ITEM	COLOR	REMARKS	#	ITEM	COLOR	REMARKS	#	ITEM	COLOR	REMARKS
01	EXISTING DOOR WITH TEMPERED WINDOW	BLACK FRAME	36" WIDE ACCESSIBLE	04	EXISTING ASPHALT BUILT UP ROOFING	DARK GREY	--	07	EXISTING PBR METAL PANEL SIDING	MATCHING ITEM #05	VERTICAL PATTERN ORIENTATION
02	EXISTING WINDOWS	WHITE FRAME	--	05	EXISTING STANDING SEAM METAL ROOF	DARK GREY	--	08	WOOD TRIMS AND EDGE BOARDS TYP.	PAINTED WHITE	--
03	EXISTING GARAGE DOORS	BLACK	TILT UP STYLE	06	EXISTING EXTERIOR STUCCO	GREY	FINISH: SAND FINISH	09	--	--	--

### ELEVATIONS LEGEND (EXISTING CONDITIONS)

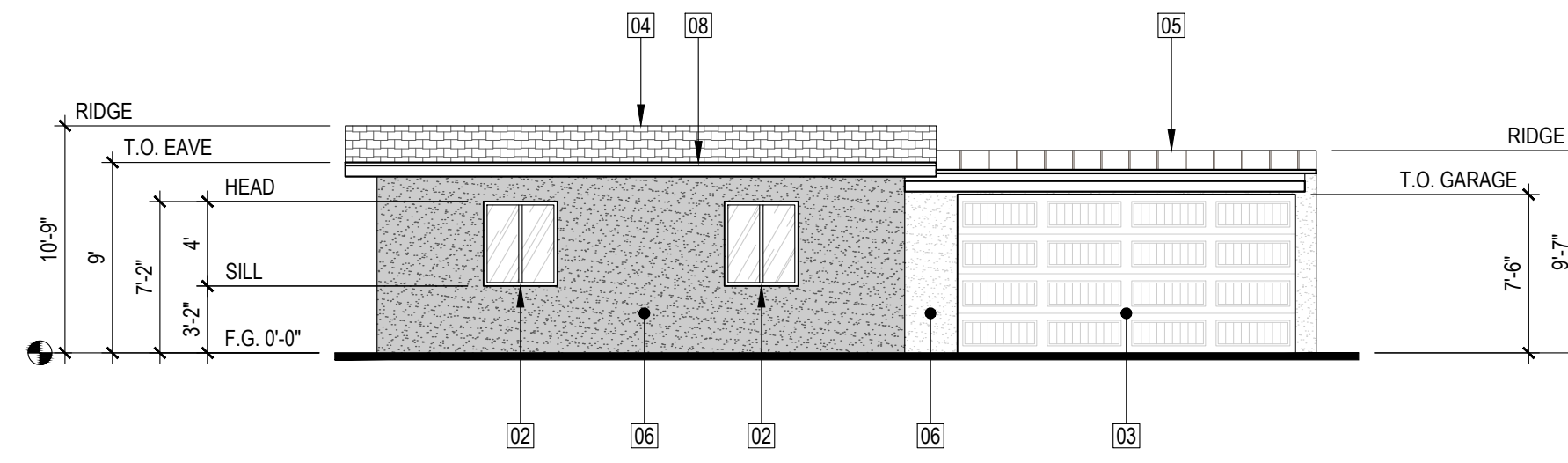
MATERIALS TYPICAL FOR ALL ELEVATIONS **01**



### NORTH ELEVATION

SCALE: 1/8" = 1'-0"

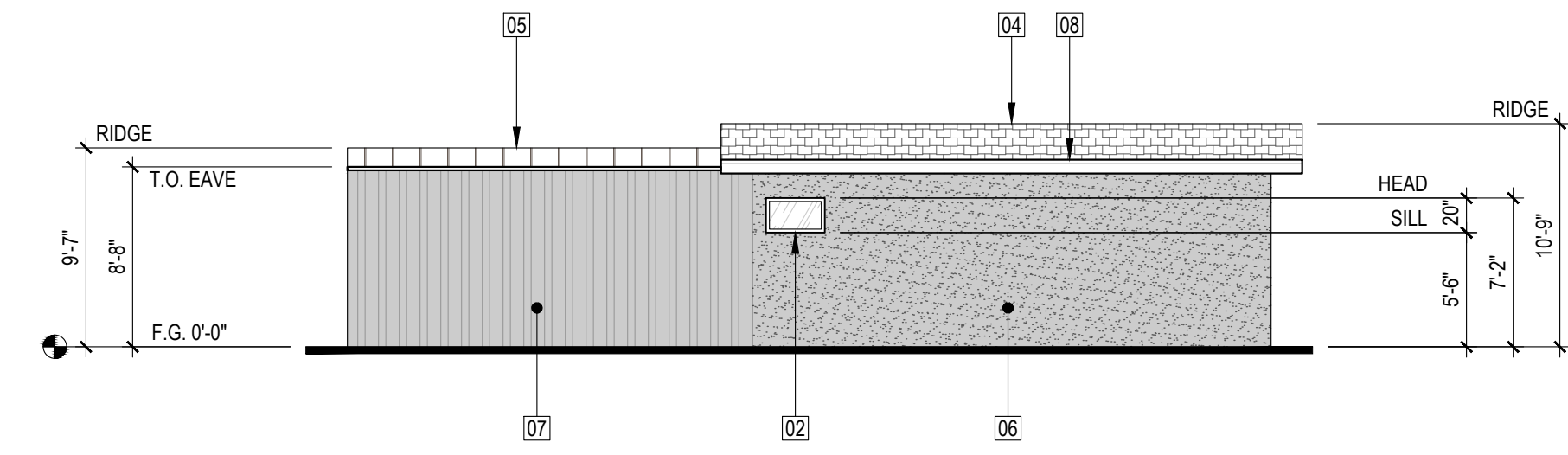
**04**



### EAST ELEVATION

SCALE: 1/8" = 1'-0"

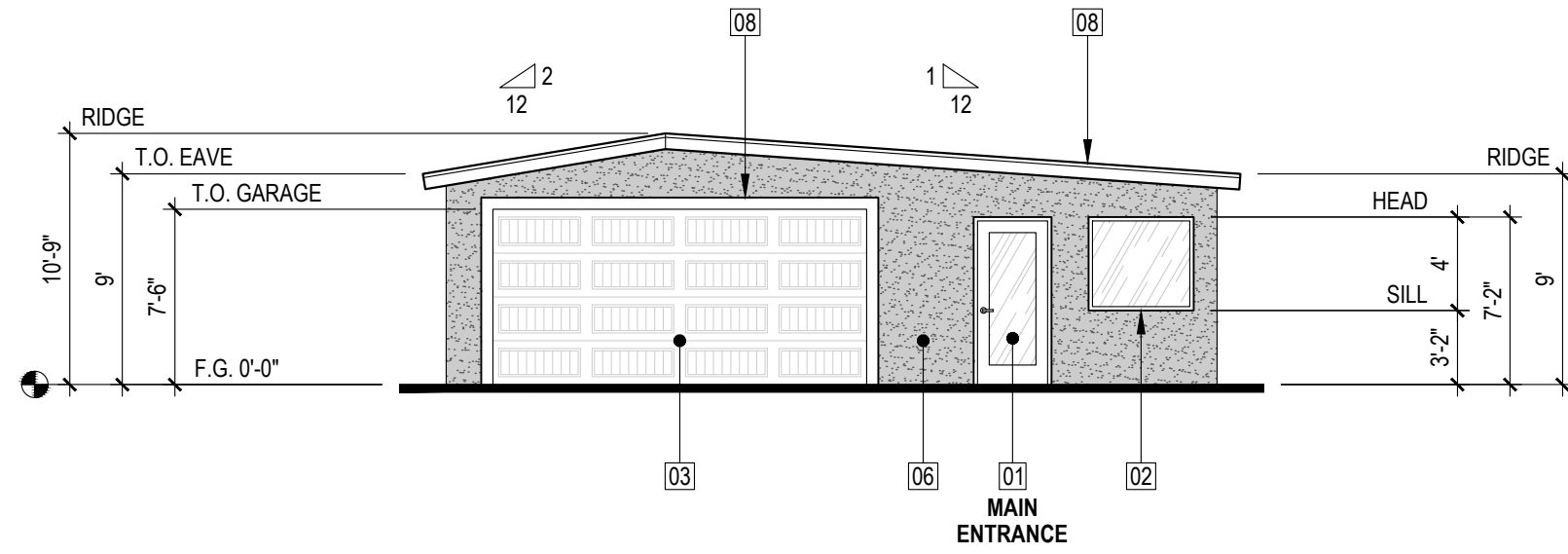
**03**



### WEST ELEVATION

SCALE: 1/8" = 1'-0"

**02**



### SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

**05**

### LEGEND

- EXISTING EXTERIOR BUILDING WALLS
- EXISTING INTERIOR WALLS
- EXISTING ROOF LINES

### OCCUPANT LOAD & AREA BREAKDOWN

EXISTING USE & OCCUPANCY CLASSIFICATION: BUSINESS GROUP B <sup>01</sup>					
ID <sup>02</sup>	FUNCTION OF SPACE <sup>03</sup>	AREA <sup>04</sup> (SQ.FT.)	OLF <sup>05</sup>	FORMULA CALCULATION	# OF OCC. <sup>06</sup>
--	BUSINESS AREAS	466	150 GROSS	X + 150	3.11
--	PARKING GARAGES	829	200 GROSS	X + 200	4.15
<b>GROSS BLDG. AREA:</b>		<b>1,295</b>	<b>SUB-TOTAL:</b>		<b>7.3</b>
<b>TOTAL BLDG. OCCUPANT LOAD:</b>					<b>8</b>

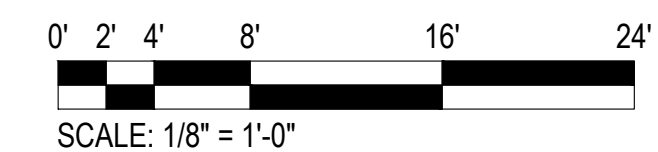
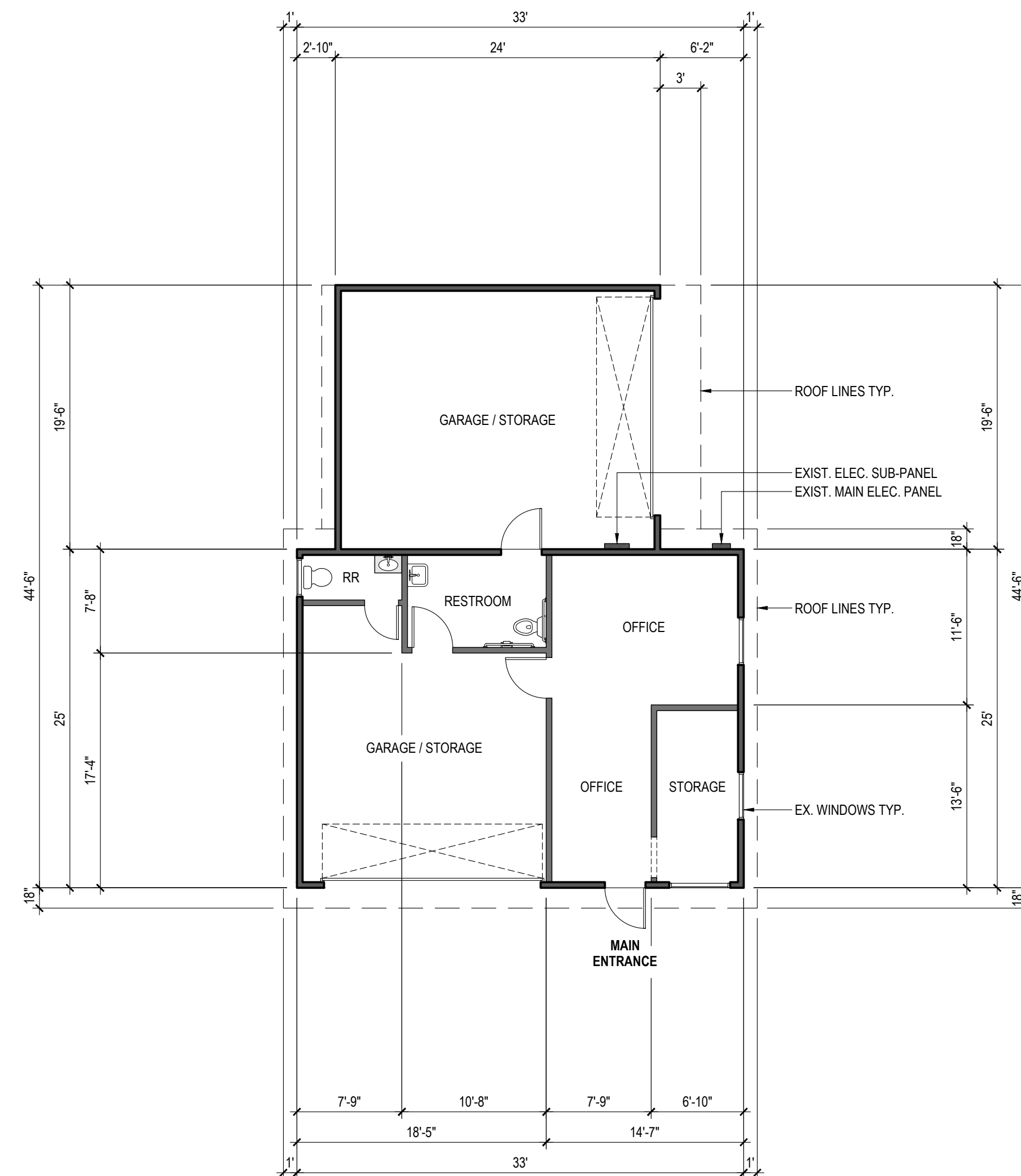
- 01 OCCUPANCY AS DETERMINED IN ACCORDANCE W/ 2022 CBC CHAPTER 3.
- 02 SPACE IDENTIFICATION.
- 03 ALL SPACES THAT CONFORM TO 'FUNCTION OF SPACE' IDENTIFIED (2022 CBC CHAPTER 10 & TABLE 1004.5.)
- 04 CUMULATIVE AREA OF THE 'SPACES' IDENTIFIED.
- 05 OCCUPANT LOAD FACTOR (OLF) PER 2022 CBC TABLE 1004.5.
- 06 NUMBER OF OCCUPANTS ATTRIBUTED TO THAT 'FUNCTION OF SPACE'.
- 08 SHAFTS WITH NO OPENINGS, INTERIOR COURTS, AND/OR OTHER PORTIONS OF UNOCCUPIABLE AREA.

### NOTES & REQS.

1. ALL DIMENSIONS ARE TO FROM FACE OF STUD UNLESS NOTED OTHERWISE.
2. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING UNLESS OTHERWISE NOTED.
3. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS.
4. CONCEALED INSULATION INSTALLED IN BUILDINGS OF ANY TYPE OF CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450. REFER TO 2022 CBC SEC. 720 FOR MORE INFO.
5. ALL TABLES, TABLE TOPS, COUNTERS, AND ACCESS TO CASHIERS SHALL BE WHEELCHAIR ACCESSIBLE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE 2022 CALIFORNIA BUILDING CODE CHAPTER 11B.
6. AT EVERY PUBLIC ENTRANCE THERE SHALL BE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNAGE SHALL ALSO BE PROVIDED TO INDICATE THE DIRECTION TO ACCESSIBLE BUILDING ENTRANCES & FACILITIES.

## EXISTING FLOOR PLAN & ELEVATIONS

SCALE: 1/8" = 1'-0"

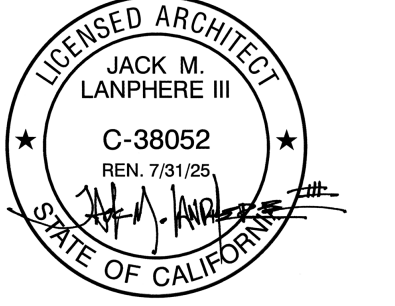


ARCHITECT OF RECORD:

**L&S**  
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LSARCHINC.COM



CONSULTANT:

NO.	PLAN/CHECK REVISION	DATE
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PROJECT FOR:  
**ODA AUTOWERKZ, LLC**  
813 E SAN BERNARDINO RD  
COVINA, CA 91723

### CONDITIONAL USE PERMIT APPLICATION

<b>PLAN CHECK NO:</b>	<b>24-002</b>
PROJECT TYPE: COMMERCIAL, NEW CONSTRUCTION	APN: 8429-010-013
OCCUPANCY: GROUP S-1 TYPE OF CONSTRUCTION: V-B	ZONING: M-1, LIGHT MANUFACTURING ZONE
DATE: 10/10/2023	REVISED: 06/14/2024
	PAGE SIZE: 24" X 36"
	V: 1.20

SHEET TITLE:

**EXISTING  
FLOOR PLAN  
& EXTERIOR  
ELEVATIONS**

SHEET NO.

**A-2.00**

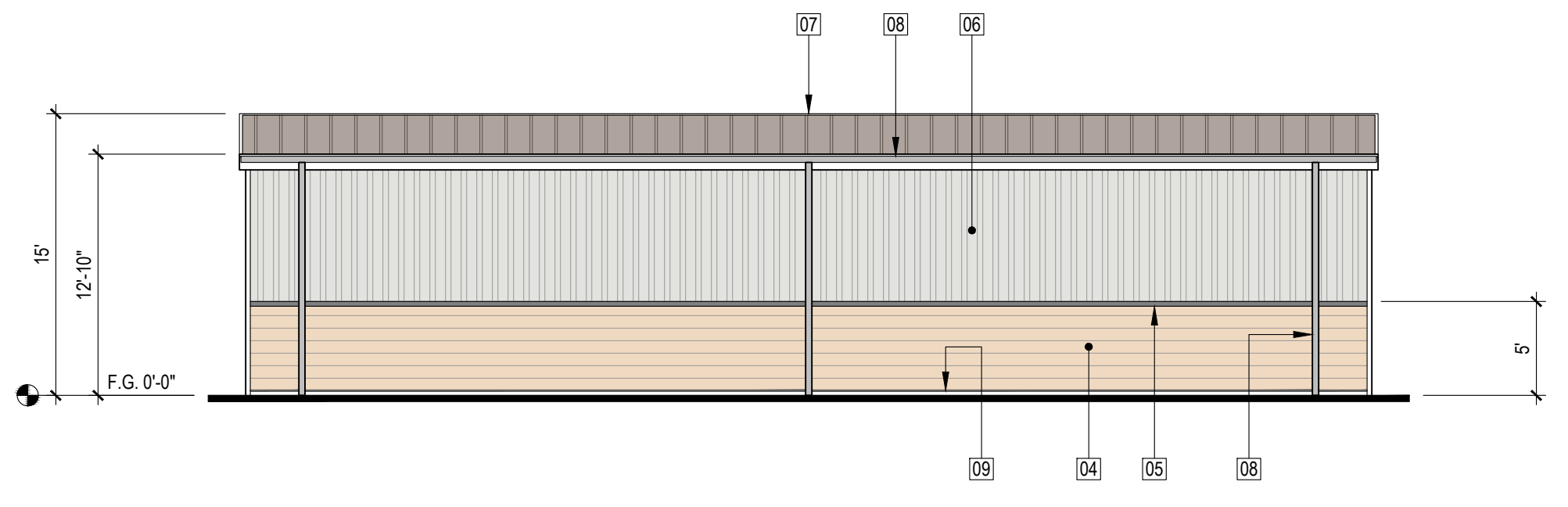
#	ITEM	COLOR	REMARKS
01	STEEL METAL DOOR W/ HOLLOW METAL FRAMES	DARK GRAY FRAMES & LEAF	--
02	15' WIDE x 10' TALL STEEL ROLL-UP DOOR	GRAY	CHOSEN BY OWNER
03	EXTERIOR LIGHTING: SHIELDED LED WALL PACK	BLACK FINISH	--

#	ITEM	COLOR	REMARKS
04	WAINSCOT: MANUF.: EDCO, MODEL: PRISM HORIZONTAL SIDING (OR EQ.)	WARM TAN	TYPE: SINGLE 8"
05	3" WAINSCOT TRIM STRIP	DARK GRAY	--
06	PBR METAL PANEL SIDING	LIGHT GRAY FINISH	VERTICAL ORIENTATION

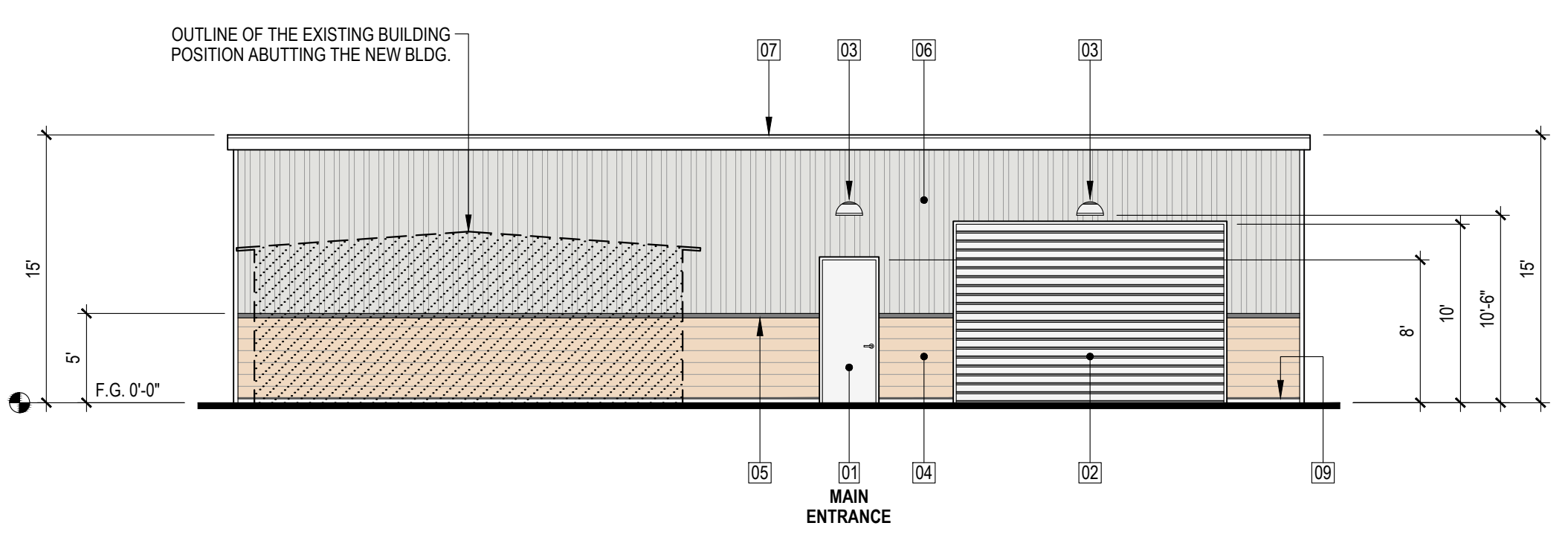
#	ITEM	COLOR	REMARKS
07	STANDING SEAM METAL ROOF	"SLATE GRAY"	SLOPE = 1:12 & RIB SPACING: 16" O.C.
08	GUTTER AND EXTERIOR DOWNSPOUTS	PAINT TO MATCH ITEM #06	DRAIN TO INFILTRATION TRENCH
09	WEEP SCREED AND FLASHING	PAINT TO MATCH ITEM #06	--

### LEGEND FOR NEW BLDG. EXTERIOR ELEVATIONS

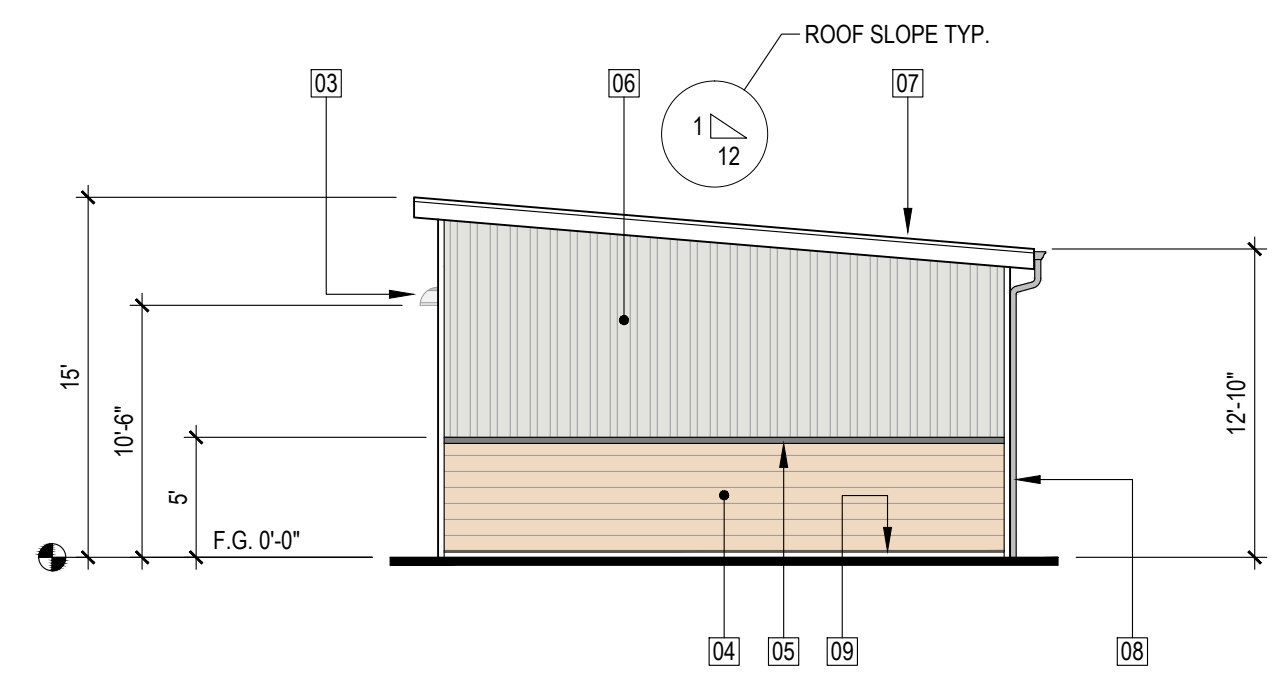
MATERIALS TYPICAL FOR ALL ELEVATIONS **01**



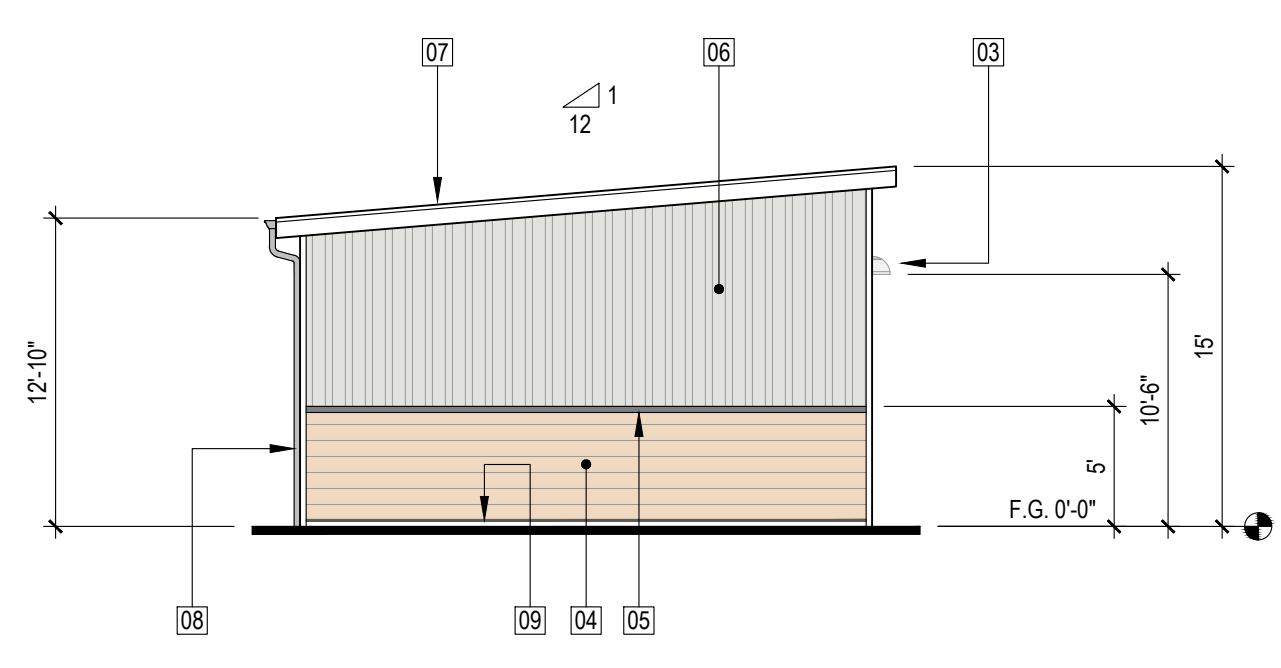
### NORTH ELEVATION SCALE: 1/8" = 1'-0" **02**



### SOUTH ELEVATION SCALE: 1/8" = 1'-0" **03**



### EAST ELEVATION SCALE: 1/8" = 1'-0" **04**



### WEST ELEVATION SCALE: 1/8" = 1'-0" **05**

### OCCUPANT LOAD & AREA BREAKDOWN

PROPOSED USE & OCCUPANCY CLASSIFICATION: **STORAGE GROUP S-1**<sup>01</sup>

ID <sup>02</sup>	FUNCTION OF SPACE <sup>03</sup>	AREA <sup>04</sup> (SQ.FT.)	OLF <sup>05</sup>	FORMULA CALCULATION	# OF OCC. <sup>06</sup>
--	INDUSTRIAL AREAS	1,430	100 GROSS	X + 100	14.3
<b>GROSS BLDG. AREA:</b>		<b>1,430</b>	<b>SUB-TOTAL:</b>		<b>14.3</b>
<b>TOTAL BLDG. OCCUPANT LOAD:</b>					<b>15</b>

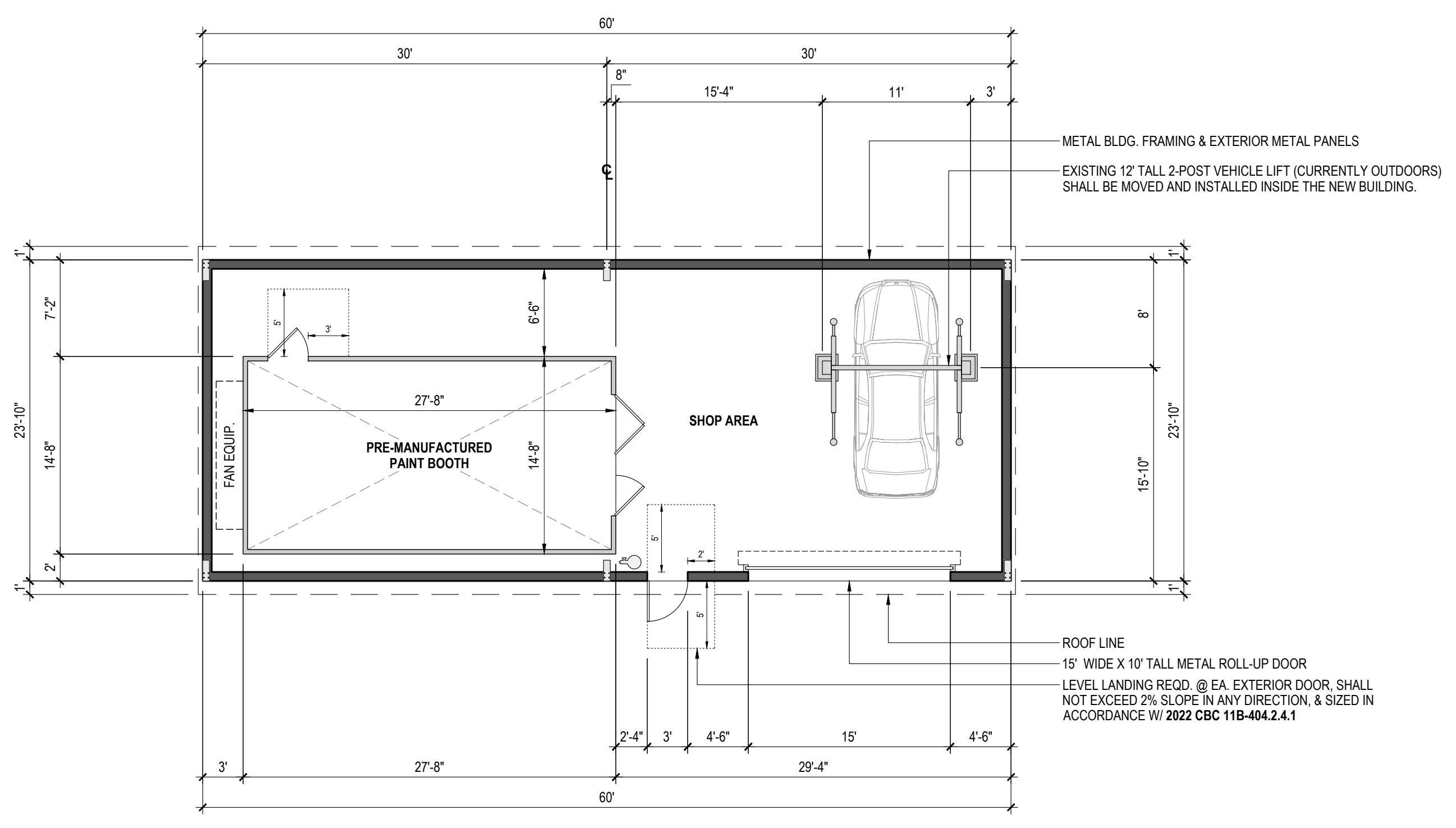
- 01 OCCUPANCY AS DETERMINED IN ACCORDANCE W/ 2022 CBC CHAPTER 3.
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- 08 SHAFTS WITH NO OPENINGS, INTERIOR COURTS, AND/OR OTHER PORTIONS OF UNOCCUPIABLE AREA.

### NOTES & REQS.

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2. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING UNLESS OTHERWISE NOTED.
3. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS.
4. CONCEALED INSULATION INSTALLED IN BUILDINGS OF ANY TYPE OF CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450. REFER TO 2022 CBC SEC. 720 FOR MORE INFO.
5. ALL TABLES, TABLE TOPS, COUNTERS, AND ACCESS TO CASHIERS SHALL BE WHEELCHAIR ACCESSIBLE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE 2022 CALIFORNIA BUILDING CODE CHAPTER 11B.
6. AT EVERY PUBLIC ENTRANCE THERE SHALL BE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNAGE SHALL ALSO BE PROVIDED TO INDICATE THE DIRECTION TO ACCESSIBLE BUILDING ENTRANCES & FACILITIES.

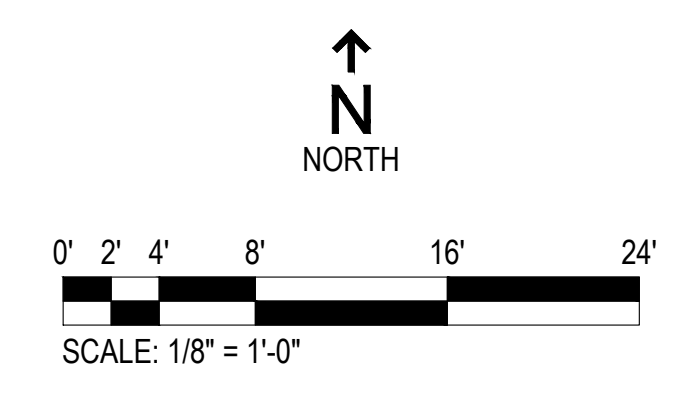
### NEW BLDG. LEGEND

- 8" EXTERIOR METAL BLDG. WALLS
- PRE-MANUFACTURED PAINT BOOTH WALLS
- CONCEPTUAL METAL BLDG. STRUCTURAL FRAMING
- ROOF LINES TYP.
- 2A10BC FIRE EXTINGUISHERS INSTALLED & MAINTAINED PER 2022 CFC SEC. 906.
  - TRAVEL DISTANCE TO EXTINGUISHER: 75' MAX.
  - FLOOR AREA PER UNIT: 3,000 SQ.FT. MAX.
- 2022 CBC CHAPTER 11B ACCESSIBILITY MANEUVERING CLEARANCE REQS.



## PROPOSED FLOOR PLAN & ELEVATIONS

SCALE: 1/8" = 1'-0"



ARCHITECT OF RECORD:

# L&S ARCHITECTS, INC.

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LSARCHINC.COM



CONSULTANT:

NO.	PLANCHHECK REVISION	DATE
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PROJECT FOR:

## ODA AUTOWERKZ, LLC

813 E SAN BERNARDINO RD  
COVINA, CA 91723

CONDITIONAL USE PERMIT APPLICATION

PLAN CHECK NO:	24-002
PROJECT TYPE: COMMERCIAL, NEW CONSTRUCTION	APN: 8429-010-013
OCCUPANCY: GROUP S-1 TYPE OF CONSTRUCTION: V-B	ZONING: M-1, LIGHT MANUFACTURING ZONE
DATE: 10/10/2023	REVISED: 06/14/2024
	PAGE SIZE: 24" X 36"
	V: 1.20

SHEET TITLE:

## PROPOSED FLOOR PLAN & EXTERIOR ELEVATIONS

SHEET NO.

# A-2.10



**RESOLUTION NO. 2024-015 PC**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COVINA, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT (CUP) 24-002 AND SITE PLAN REVIEW (SPR) 24-24, A PROPOSAL TO ADD A 1,430 SQ. FT PRE-ENGINEERED STRUCTURE WITH ONE SPRAY BOOTH WITHIN THE LIGHT MANUFACTURING (M-1) ZONE, LOCATED ON 813 E SAN BERNARDINO RD (APN: 8429-010-013) AND MAKING A DETERMINATION OF EXEMPTION OF THE CALIFORNIA ENVIRONMENTAL ACT (CEQA) GUIDELINES**

WHEREAS, Jack Lanphere (Applicant), on behalf of Gerardo Z. Chavez and Maria Miramontes (Property Owners), has filed a conditional use permit (Application) to construct a 1,430 sq. ft pre-engineered structure with one spray booth and operate a major auto body repair located on 813 E San Bernardino Rd (APN: 8429-010-013) (Property); and

WHEREAS, pursuant to CMC Chapter 17.54, the following use is listed as a conditional use subject to CMC Section 17.54.030, no major - auto body repair services shall operate on any private property within the city in any zone, without first applying for and obtaining a conditional use permit from the planning commission; and

WHEREAS, pursuant to CMC Chapter 17.62, the Planning Commission shall hold a public hearing on an application or a conditional use permit; and

WHEREAS, pursuant to CMC Charters 17.64, projects are subject to the Site Plan review requirements of CMC Chapter 17.64 Site Plan. CMC Chapter 17.64 generally requires site plan review and approval for new development or redevelopment including specified new construction, remodeling, alteration, relocation, rebuilding, or expansion of any building. Pursuant to CMC Section 17.64.040.B, when a site plan entitlement is processed with another entitlement, the reviewing body is the same as that other entitlement; and

WHEREAS, on September 10<sup>th</sup>, 2024 at the regular meeting the Planning Commission conducted a duly noticed public hearing at which time oral and written comments received prior to or at the meeting, together with a recommendation from the Planning Division, was presented to the Planning Commission. The Planning Commission concluded said hearing on that date.

WHEREAS, all legal prerequisites prior to the adoption of this Resolution have occurred.

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF COVINA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:**

**SECTION 1.** The foregoing recitals are true and correct and are incorporated herein and made an operative part of this Resolution.

**SECTION 2.** Based upon the entire record made available at the September 10<sup>th</sup>, 2024 meeting, the staff report, the oral presentation, and related documents submitted to the Planning Commission prior to and at the meeting, the Planning Commission hereby finds and determines as follows:

**A. Findings for Conditional Use Permit (CMC Section 17.62.120)**

- 1. The site for the proposed use is adequate in size and shape to accommodate the use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this title to adjust the use with land and uses in the neighborhood.**

*Facts:* The pre-engineered structure containing a paint booth would be installed and all supporting equipment would be located in a currently vacant rear area portion of the site that is abutting the railroad. This location will not result in any disruptions regarding current activities on the property, Staff has identified no site-related constraints or issues concerning any components of the proposed structure and uses. **Therefore, as proposed, this criterion has been met.**

- 2. That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use.**

*Facts:* The proposed major auto body repair use (specifically auto paint) would be having a negligible impact on the surrounding street, which is San Bernardino Rd, because the the facility is appointment based and accessible to employees only. The overall surrounding roadway system has sufficient widths and capacities to accommodate maintenance and occasionally other personnel associated with the proposed major auto repair use. **Therefore, as proposed, this criterion has been met.**

- 3. The proposed use will have no adverse effects on the abutting properties or the permitted use thereof.**

*Facts:* The proposed major auto body repair use (specifically auto paint) would be located, operated, and maintained in a way that does not interfere with any nearby business activities. The auto paint booth will be operating inside a pre-engineered structure that will be surrounded on the West, East and North side by a block wall which won't intervene with any surrounding uses. Furthermore, the conditions of approval will prevent any potential auto paint services associated nuisances on the surrounding areas. **Therefore, as proposed, this criterion has been met.**

- 4. That the conditions stated in the decision are deemed necessary to protect public health, safety, and general welfare. Such conditions include regulation of use, regulation of signs, requiring maintenance of grounds, regulation of noise, vibrations, odors, etc., regulation of time for certain activities, duration of use, and any such other conditions as will make possible the development of the city in an orderly and efficient manner and conformity with the intent and purposes set forth in this title.**

*Facts:* No major public health or safety related impacts have been identified during project review. At construction completion and in perpetuity, the major auto body repair (specifically auto paint) would be subject to certain regulations of the South Coast Air Quality Management District (SCAQMD). Building permits would have to be obtained in conjunction with facility construction. Furthermore, the CUP associated conditions of approval will prevent any potential operational or design associated issues. **Therefore, as conditioned, this criterion has been met.**

**B. Findings for Site Plan Review (CMC Section 17.64.070)**

In order to approve the Site Plan Review (SPR) application, the Planning Commission must make the findings as listed below:

**1. All provisions of Title of the CMC are complied with;**

*Facts:* As described in detail within the "Project Analysis," the proposed construction of a 1,430 sq. ft pre-engineered structure with one spray booth and operating a major auto body repair is within the "M-1" Industrial zone. Conditions of approval will ensure that the major auto body repair will be maintained. The proposal would comply with the criteria under Section 17.64 of the Covina Municipal Code. The site is located within an established area characterized by existing streets, walls, existing structures, and uses that conform well to surrounding neighborhood infrastructure, circulation, and support services. With the proposed modifications, overall, and recommended conditions of approval, the proposed use will have no adverse effect on surrounding properties. **Therefore, as conditioned, this criterion has been met.**

**2. The design and layout of the proposed development are consistent with the general plan, zoning code, development standards of the applicable zoning district, specific plans, design guidelines and objective design standards;**

*Facts:* The expansion of ODA Autowerkz complies with all the applicable regulations as described in the staff report. The facility will protect and maintain the visual aesthetic of the community, which then complies with the General Plan Land Use Objective 1, Section 3. Commercial and Industrial (4) "Maintain its variety of functional commercial office, retail, and service businesses for reasons pertaining to employment, sales tax generation, community image enhancement, and jobs-to-housing ratio maximization." **Therefore, this criterion has been met.**

**3. The design of the proposed development or the alterations to existing structures will not interfere with the use and enjoyment of existing neighborhood and future development, and will not create traffic or pedestrian hazards;**

*Facts:* The subject site is located within the "M-1" Light Manufacturing Zone and is intended to provide for the development of industrial uses which include fabrication, manufacturing, assembly or processing of materials which will be compatible and not interfere with any of the business surrounding the site. The subject site is within an established area characterized by industrial uses, connecting well to existing neighborhood infrastructure and support services. Proposed improvements to the site are aesthetically pleasing, functional, and visually compatible with neighboring structures and the area



within which it is proposed to be located and follow the Covina Municipal Code. **Therefore, this criterion has been met.**

**4. The proposed development has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA);**

*Facts:* The project involves the construction of a 1,430 sq. ft pre-engineered structure with one spray booth and operating auto paint services within an existing a major auto body repair business. Staff has determined that the project is exempt from the requirements of California Environmental Quality Act (CEQA) Guidelines Section 15303 under class 3. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicant zoning designation and regulations. The proposed developments are within city limits on a project site of no more than five acres of substantially surrounded by urban uses. Since the location is within an existing operating business, the project site has no value as habitat for endangered, rare or threatened species. These exemptions are intended to streamline the approval process for projects that are expected to have minimal environmental impact, fitting the criteria set forth by CEQA for certain types of small-scale and urban development projects. **Therefore, this criterion has been met.**

**5. The proposed development will not be detrimental to the public health, safety or welfare or materially injurious to the properties or improvements in the vicinity;**

*Facts:* Construction activities during the tenant improvements are not likely to cause serious public health problems. All potentially hazardous materials used during project construction will be disposed of in accordance with manufacturers' specifications and instructions, thereby reducing the risk of hazardous materials use. In addition, the Project would comply with all applicable federal, state, and local requirements concerning the use, storage, and management of hazardous materials, including but not limited to the Resource Conservation and Recovery Act, California Hazardous Waste Control Law, federal and state Occupational Safety and Health Acts, SCAQMD rules, and permits and associated conditions issued by the Building and Safety Division. **Therefore, as conditioned, this criterion has been met.**

**6. The development complies with the provisions for dedications, public improvements and undergrounding utilities pursuant to CMC 17.64.140 and congestion management and transportation demand management requirements pursuant to CMC 17.64.150;**

*Facts:* All new utility service lines that are installed to serve the tenant space shall be placed underground. The Applicant shall comply with any other utility and/or street improvements required by the Department of Public Works (Engineering, Traffic, and Environmental Services). **Therefore, as conditioned, this condition has been met.**

**SECTION 3.** The Planning Commission, based on its own independent judgment, has determined that the proposed project of the 1,430 sq. ft pre-engineered structure with one spray booth and operating auto painting services" is deemed exempt from the California Environmental Quality Act (CEQA) under to specific categorical exemptions: Class 3. The project is consistent

with the applicable general plan designation and all applicable general plan policies as well as with applicant zoning designation and regulations. The proposed development is within city limits on a project site of no more than five acres of substantially surrounded by urban uses. Since the location is within an existing operating business, the project site has no value as habitat for endangered, rare or threatened species. Approval of this project would not result in any significant effects relating to traffic, noise quality, or water quality. The site can be adequately served by all required utilities and public services. The pre-engineered structure with a paint booth is a small structure and fits within the types of projects covered by this exemption, such as utility extensions. There is no substantial evidence that the project will have a significant effect on the environment.

The Planning Commission further finds that there is no substantial evidence that the Project will have a significant effect on the environment.

**SECTION 4.** Based upon findings and conclusion set forth in Sections 1, 2, and 3 above, the Planning Commission hereby approves the application:

- A. The Conditional Use Permit (CUP) 24-02 and Site Plan Review (SPR) 24-24 is hereby approved, subject to the conditions of approval set forth in the written record before the Commission incorporated here and attached hereto as Exhibit "A."
- B. The Secretary of the Planning Commission is directed to serve, by first-class mail, a written notice of this decision to the Applicant within five (5) days.

**SECTION 5.** This Resolution shall become effective immediately upon its adoption, subject to a 10 calendar-day appeal period

PASSED AND ADOPTED by the members of the Planning Commission of the City of Covina at a regular meeting thereof held on the 10<sup>th</sup> day of September 2024.

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ROSIE RICHARDSON, CHAIRPERSON  
CITY OF COVINA PLANNING COMMISSION

I hereby certify that the foregoing is a true copy of a resolution adopted by the Planning Commission of the City of Covina at a regular meeting thereof held on the 10<sup>th</sup> of September, 2024, by the following vote of the Planning Commission:

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

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COVINA PLANNING COMMISSION SECRETARY

**EXHIBIT A**  
**CONDITIONAL USE PERMIT (CUP) 24-02 AND**  
**SITE PLAN REVIEW (SPR) 24-024**  
**APN: 8429-010-013**  
**CONDITIONS OF APPROVAL**

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The **Conditional Use Permit (CUP) 24-02 and Site Plan Review (SPR) 24-024**, proposing a 1,460 sq. ft pre-engineered structure with one spray booth and operating auto painting services in the Light Manufacturing (M-1) Zone located at 813 W San Bernardino Rd, Covina, CA, 91722 (APN: 8429-010-013).

**ALL OF THE FOLLOWING CONDITIONS APPLY TO THE PROJECT**

**A. TIME LIMITS:**

1. **Conditional Use Permit (CUP) 24-02 and Site Plan Review (SPR) 24-24:** Approval of this application will expire two years from the date of Project approval if building permits are not issued unless otherwise extended pursuant to applicable laws. The applicant may apply to extend the expiration date for a maximum period of one year upon written request to the Director of Community Development a minimum of thirty (30) days prior to expiration. The request must be approved by the Planning Commission prior to expiration of the approved CUP and SPR applications.

**B. GENERAL REQUIREMENTS:**

1. This approval is for 1,430 sq. ft pre-engineered structure with one spray booth and operating auto painting services” within the light manufacture (M-1) zone located at 813 E San Bernardino Rd, Covina, CA, 91722 (APN: 8429-010-013)
2. All temporary canopies and exposed car lifts must be removed from the site. If any new structure or car lift is proposed on site it will require a modification to the Conditional Use Permit (CUP).
3. No storage of vehicles can be placed outdoors. Any overnight parking for serviced vehicles must be within an enclosed structure not visible form the right of way.
4. Operating on vehicles must be done within the structure, cannot provide any services outdoors.
5. This approval will not be effective for any purposes until the Applicant has filed with the Planning Division an affidavit stating that it is aware of and agrees to accept all of the conditions of this approval as set forth herein and within 10 days from the date of this approval.
6. The applicant shall defend, indemnify and hold harmless the city and its officers, agents and employees from any claim, action or proceeding against the city or its officers, agents or employees to attack, set aside, void or annul any approval under this chapter. The applicant shall further defend, indemnify and hold harmless the city, its officers, agents and employees from any damages, liabilities, claims, suits, or causes of action of any kind or form, whether for personal injury, death or property damage, arising out of or in connection with the activities or

performance of the applicant, its agents, employees, licensees, contractors, subcontractors or independent contractors, pursuant to the approval issued by the city.

7. All indemnity provisions, as set forth above, shall continue to be the liability and obligation of Applicant, binding upon Applicant, until the final resolution of all Claims, and shall survive the completion, partial completion, or abandonment of the Project.
8. The Project Site and all improvements thereon, including landscaping, must be maintained in a sound, healthy, and attractive condition reasonably free of weeds, visible deterioration, graffiti, debris and/or other conditions that violate the Covina Municipal Code.
9. The costs and expenses of any code enforcement activities, including, but not limited to, attorneys' fees, caused by applicant's violation of any condition imposed hereunder or any provision of the Covina Municipal Code must be paid by the applicant.
10. The management of the business shall at all times take reasonable steps a) to prevent any outside loitering by any associated patrons and b) to encourage all business-related persons to be courteous with neighboring businesses.
11. The management of the business shall ensure that all employees and customers of the business that drive to the site park on the underlying site in legal parking spaces.
12. Any proposed permanent and temporary exterior signage displaying the name of the subject business is not a part of this approval. All such signage shall be subjected to a separate application, review, and approval process, whereby all applicable requirements shall be met and all necessary permits shall be obtained.
13. At all times when any outside lighting typically operates, the exterior lighting on the property shall be fully functional. This lighting shall further meet the design and minimum foot-candle standards of the City to sustain public safety (or, 1.0 foot-candle of illumination) and shall be hooded to prevent the reflection of lights upon the adjacent properties to the south and east of the subject project. All exterior lighting on the site shall not generate any glare onto any surrounding properties or the adjacent public rights-of-way. Exterior lighting shall be pointed downwards and away from any residences. Only the blue accent LED lighting depicted on the submitted plans shall be allowed on the canopy fascia.
14. Approval of this request shall not waive compliance with all other sections of the Covina Municipal Code, the Covina Design Guidelines, and all other applicable plans and non-City laws and regulations that are in effect at the time of application approval by the Planning Commission and at the time of building permit issuance(s) by the Covina Building Division.
15. The City shall have the reasonable right of entry to inspect the immediate premises and the overall property to verify compliance with these Conditions of Approval.
16. If any provision of this approval is held or declared to be invalid, then the entire approval shall be void and the privileges granted hereunder shall lapse.

**C. SITE DEVELOPMENT**

1. The Project Site shall be developed and maintained in accordance the approved plans on file with the Community Development Department, all representations of record made by the Applicant(s), the conditions contained herein, the Covina Municipal Code, the Town Center Specific Plan and the Covina Design Guidelines.
2. Final plans incorporating all conditions of approval and any plan-related changes required in the approval process shall be submitted for the Director or his designee for review and approval, prior to submittal for Plan Check process.
3. Copies of the signed Resolution No. 2024-15 PC shall be included on the plans (full size) for submittal of plan check.
4. All ground mounted utility appurtenances shall be adequately screened using a combination of concrete or masonry walls, and or landscaping to the reasonable satisfaction of the Director or his/her designee.
5. The Project Site must be clean and reasonably free of trash and construction debris, and all construction equipment must be removed from the Project Site prior to issuance of the last certificate of occupancy for the production units.

**D. BUILDING AND SAFETY**

1. Submit 4 (Four) sets of complete plans, (Electronic submittal maybe at the time of submittal) including any proposed utilities and earthwork/grading. The Project must comply with the 2022 California Building Code and Standards. Be sure to include 2 (Two) sets each, any structural calculations, soils reports, and energy calculations shall be submitted with the above-mentioned plans. All calculations must bear an original signature from the licensed professional engineer or architect documented author.
2. This Project must comply with applicable Federal and State Accessibility requirements to and throughout the buildings. Include compliance methods and structural details on the plans. It is required that an independent CASp review of the project be performed although your new facility may have already been approved and permitted by the building department, it is important to obtain CASp inspection services after your move-in because unintended access barriers and violations can be created, such as placing your furniture and equipment in areas required to be maintained clear of obstructions. For planned alterations, a CASp can review your improvement plans and provide an access compliance evaluation of your facility's public accommodation areas that may not be part of the alteration.
3. Demolition activities require an asbestos-containing materials (ACM) survey. (SCAQMD RULE 1403). The ACM report shall be prepared by an accredited testing laboratory in accordance with applicable SCAQMD rules and regulations. Proof of notification to the South Coast Air Quality Management District (SCAQMD), Office of Operations, shall be submitted to the Building Division with the relevant permit application for all demolition activities. Contact the SCAQMD at the address or number below for more information. Once any demolition activity has adhered to the applicable notification requirements to the SCAQMD, a formal demolition plan and permit must be obtained from the Building and Safety Division.

4. SCAQMD Headquarters; 21865 Copley Drive, Diamond Bar, CA, (909) 396-2381.
5. Provide an additional digital copy (pdf preferred) of the building floor plan, elevations, and site plan to be submitted to the LA County Assessor. This copy should be in sufficient detail to allow the assessor to determine the square footage of the buildings and, in the case of residential buildings, the intended use of each room. For additional information, please contact the LA County Assessor's, Public Service Desk at 888-807-2111.
6. The Applicant shall pay the applicable SB 50 development impact fees to the School District prior to issuance of the first building permit for production units.
7. Construction activity within 500' of a residential zone is prohibited between the hours of 6:00 pm and 7:00 am on Monday through Friday and between 5 pm and 8 am on Saturday and all day on Sunday and Holidays unless otherwise permitted

**E. COVINA POLICE DEPARTMENT**

1. Exterior lighting to include: any parking lot light fixtures and wall mounted light fixtures shall be of LED. Lighting will follow the planning departments established lighting requirements. The condition of approval shall be accomplished on or before opening. Current elevations provided do not depict any exterior wall packs for lighting. To increase safety and visibility, we would like to see LED wall packs installed surrounding the building.
2. Wayfinding signage shall be provided and submitted to Police Department and Planning Division for review and approval. Wayfinding signage shall have lighting as well. Lighting will follow the planning departments established lighting requirements. The condition of approval shall be accomplished on or before opening.
3. Signage stating vehicle code is enforceable must be posted at all entrances so that guests/visitors are aware of what will be enforced on the property. Police Department to review signage. The condition of approval shall be accomplished on or before opening.
4. The permittee and the operator of any business at the premises shall install, use, and maintain in good working condition a video security system capable of viewing and recording events at the premises as approved by the Chief of Police. The video security system shall be on and operating at all times by common areas, entrances and exits, and parking areas. The video security system shall be of such to provide images of such a resolution as to clearly identify individuals for later identification. Security systems could deter and prevent public nuisances. Installation and approval shall occur prior to the release of the occupancy or approval of business license.
5. The permittee and the operator of any business at the premises shall ensure that at least one employee or other person is present on the premises during normal business hours with the necessary knowledge and skill to operate the video security system so that he or she is able to provide the Covina Police Department copies of video recordings immediately upon request.
6. The owners, operators, or managers shall, subject to approval of the Police Department, develop a plan to monitor the area surrounding the location for trash and other discarded items that impact public health and to maintain the cleanliness of the parking lots, sidewalks, and the property of adjacent business owners.

7. The owners, operators, or managers shall, subject to approval of the Police Department, develop a plan to ensure that all exterior locations are adequately and safely illuminated during hours of darkness.
8. The owners, operators, or managers shall ensure that all occupancy levels mandated by the Los Angeles County Fire Department and the Covina Building Division are strictly enforced and adhered to. At any time that the occupancy is in question, the Police Department Watch Commander can contact the Los Angeles County Fire Department and/or the Covina Building Division in order to determine if the occupancy level is over the allowed number of occupants.
9. The owners, operators, or managers must comply with all City codes and ordinances relating to police response and abatement nuisance conditions.
10. All landscaping should follow the two-foot six-foot rule. All landscaping should be ground cover, two feet or less and lower tree canopies should be at six feet. This increases natural surveillance and eliminates hiding areas within landscaping. Tree canopies should not interfere with or block the lighting along sidewalks or parking lots. This creates shadows and areas of concealment. Planters will use plant species with limited growth. This is to ensure that maintenance does not become an issue and surveillance from the building is maintained.
11. Rolling driveway gates, and any pedestrian gate, shall have a keypad installed with current access code provided to Police Dispatch at (626) 384-5808.
12. **NOTICE:** The breach of a condition of this Permit (which is a public nuisance – pursuant to Chapter 8.40 of the Covina Municipal Code) that results in an imminent hazard to persons or property, the Police Chief or other authorized official may, if necessary to summarily abate the nuisance, require a cessation of your business operations or a closure of the premises pursuant to Section 8.40.180 [Emergency Action to Abate an Imminent Hazard] of the Covina Municipal Code. That section states in part as follows:
  - a. Notwithstanding any provision of the Covina Municipal Code to the contrary, the Police Chief, the Fire Chief, or the building official, or any of their designees, may cause a public nuisance to be summarily abated if it is determined that the nuisance creates an imminent hazard to a person or persons, or to other real or personal property

**F. LOS ANGELES COUNTY FIRE DEPARTMENT**

1. Spray booth requires Fire Department approval, please submit plans to the Irwindale Fire Office. Operational permits are required from the Fire Department for both the spray booth and repair shop.

*(East Region – Irwindale Office | 5200 Irwindale Ave, #210 Irwindale, CA, 91706)*

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**END OF CONDITIONS**



Planning Commission Regular Meeting  
**STAFF REPORT**

ITEM NO. PH 2

**Meeting:** Tuesday, September 10<sup>th</sup>, 2024

**Title:** A Request to allow the operation of two bonafide eating establishments in conjunction with on-sale alcohol ABC licenses at 128-132 E College Street.

**Title Description:** Conditional Use Permit (CUP) 23-010, Site Plan Review (SPR) 23-281 and determination of exemption from CEQA: A request to allow the operation of two (2) bona-fide eating establishments in conjunction with (2) Type – 47 ABC License on sale alcohol and a 4,830 square feet outdoor dining area with four (4) food trailers and live entertainment. The Project site is located within the Covina Town Center Specific Plan (CTCSP) Cultural Core, located at 128-132 E College St. Covina, CA, 91723 (APN: 8445-009-040).

**Presented by:** Eduardo Lomeli, Assistant Planner

**PROJECT SITE INFORMATION**

**A. Project Information:**

Request: Conditional Use Permit (CUP) 23-10  
 Site Plan Review (SPR) 23-281

Applicant/Authorized Agent: Dimitri Constantinou

Property Owner: Dimitri Constantinou

Location: 128-132 E College St

Assessor Parcel Map No's: 8445-009-040

**B. Site and Surrounding Land Uses:**

The following table provides the General Plan designation, Zoning, and existing uses of the site and surrounding areas:

Table 1: Site and Surrounding Land Uses			
	General Plan	Zoning	Existing Uses
Site	Town Center Specific Plan	Town Center Specific Plan: Cultural Core	Office Space and Restaurant
North	Town Center Specific Plan	Town Center Specific Plan: Civic Core	City Hall



South	Town Center Specific Plan	Town Center Specific Plan: Civic Core	Residential
East	Town Center Specific Plan	Town Center Specific Plan: Cultural Core	Tanning Spa
West	Town Center Specific Plan	Town Center Specific Plan: Civic Core	Covina Public Parking Lot

**C. Site Characteristics:**

The Project site is approximately 0.24 acres in size, with an existing 4,080-square-foot building, accommodating two tenant spaces, each approximately 2,000 square feet in size. Tenant No. 1, is Chismosa, a fast-casual restaurant located at 132 E College St. Tenant No. 2 is Easy Group, a retail/office space located at 128 E College St. Pedestrian access to the building is off College St, with parallel parking available on College St and an existing public parking structure and a public surface parking lot, abutting the building to the West.

**BACKGROUND / PROJECT ANALYSIS**

On December 18, 2023, the applicant filed Conditional Use Permit (CUP) and Site Plan Review (SPR) applications proposing operation two (2) bona-fide establishments in conjunction with on sale alcohol along with a 4,830 square feet outdoor dining area with four (4) food trailers and live entertainment. This project will be divided into 2 phases: where 132 E College St known as Chismosa will begin Phase 1 of offering alcohol and outdoor dining along with two (2) food trailers installed and outdoor dining. Phase 2 will consist of an office conversion to a restaurant offering alcohol along with outdoor dining and the additional two (2) food trailers.

**Business Operations:**

Tenant 1 – Chismosa. Hours of operation for the outdoor dining area shall be Tuesday through Sunday 9:00 a. m. to 11:00 p. m. These hours will accommodate breakfast lunch and dinner services during peak operating hour throughout the week. Chismosa Cafe will only operate 9:00 a. m. to 4:00 p. m. Wednesday through Sunday.

Tenant 2 – Easy Group/Future Restaurant. Currently, Easy Group’s operating hours are 9:00 a. m. to 5:00 p. m. Monday through Friday. In the future (within approximately 3-5 years) the property owners intend to transition from a retail/office space to a fast-casual restaurant. This transition will be phased with Chismosa’s improvements and partial outdoor dining area as Phase 1 followed by the second restaurant and outdoor area as Phase 2. The additional restaurant located at 132 E College will operate Monday through Friday 5:00 p. m. – 11:00 p. m. During the weekends it will operate from 8 a. m. – 11 p. m.

**Design:**

Tenant 1 - Exterior renovations are proposed with a modern urban design. This will incorporate elements like landscape, earthy colors, shade canopies, aesthetic fencing wood, exposed brick, outdoor furniture, creating a unique atmosphere.

Tenant 2 – Exterior and Interior renovations are proposed for a contemporary rustic design. Exposed wooden beams and brick walls give the space an authentic rustic feel, while large, modern windows ensure ample natural light

Outdoor Dining Area – It will showcase four food trailers placed on both ends of the property and providing a dining area with seating inside and outside both restaurants. The rear area will be secured

with decorative landscaped planter boxes and a modern wooden fence along with string lights and shade around the site. Outdoor dining areas will be operated in a manner that meets all requirements of the Health Department and all other applicable regulations. Food establishments serving alcoholic beverages will also obtain all necessary permits required by the Sate Alcoholic Beverage Control Department (ABC). As proposed, the outdoor seating area satisfies the provisions outlined under CMC 17.57 Outdoor Dining.

#### Food and Libations:

Tenant 1 – Chisrosa Cafe is a vibrant coffee roastery and new Mexican cuisine restaurant located at 132 E College St Covina, CA 91723. This Latinx-owned and veteran-owned establishment offers a unique dining experience with a variety of vegan options and a focus on sustainability with compostable containers and plastic-free packaging.

Tenant 2 – The proposed project envisions the opening of a vibrant new restaurant in 3-5 years, specializing in American cuisine and pizza, paired with a diverse selection of craft beers and drinks. The restaurant will combine the comfort of classic American dishes with the creativity of gourmet pizzas, offering a menu that caters to both traditional and adventurous palates. The beer selection will create a perfect pairing for every dish. The establishment will be designed with a modern, welcoming atmosphere, making it an ideal spot for casual dining, family gatherings, and social events. As a community-centric venue, the restaurant aims to become a go-to destination, contributing to the local dining scene.

Outdoor Dining Area – The food trailer will be serving a selection of beer, wine, and soft drinks. These trucks will be central features, providing refreshing beverages to complement both restaurants food offerings and events. It will also be offer salads and sandwiches during the day, transitioning to a taco speakeasy at night. These trucks will also host guest chefs on special weekends, bringing diverse cuisines from around the world to the community.

#### Live Entertainment:

As described under Covina Municipal Code (CMC) Chapter 5.28, the regulation and operation of establishments that provide or otherwise allow entertainment (including live and non-live entertainment) for the public health, safety, and welfare, require the review and approval of an Entertainment Permit by the Covina Police Department. Upon approval of an Entertainment Permit, the applicant will be held responsible for controlling patron conduct in and around the establishments, making adequate provisions for security and crowd control, protecting the city’s youth from criminal activity and minimizing disturbances as a result of the operation of the entertainment.

#### Parking:

Under CMC Section 17.72.010, off-Street parking requirements for an eating establishment having more than 4,000 square feet of floor area requires Forty (40) parking stalls plus one for each 50 square feet of gross floor area in excess of 4,00 square feet. The combined total floor area (both indoor and outdoor floor area) is 7,959 square feet, requiring 119 parking spaces. The subject site has no on-site parking. However, the site is within the limits of “District 1,” whereby properties located within the territorial limits of “District 1” contribute to an annual assessment tax, which is credited toward property compliance with the city’s off-street parking standards. Parking within the CTCSP is transferred onto city-owned public parking facilities. In this case, the Covina City Hall Public Parking Lot is immediately west of the subject site, providing approximately over 107 parking stalls. There is additional city-owned public parking up north of the subject site with approximately 100 parking stalls, including existing parallel street parking along College Street, resulting in adequate parking for the proposed use. Staff must also note at this time,

Assembly Bill 2097 (AB 2097) is recent California law that prohibits public agencies or cities from imposing a minimum automobile parking requirement on most development projects located within a half-mile radius of a major transit stop. This project is approximately .40 miles from the Metrolink Station. The CTCSP encourages and promotes pedestrian mobility, reduction of individual carbon footprint, and use of alternative means of transportation. Overall, the staff has determined there is sufficient parking available within the CTCSP.

Minimum Required Off-Street Commercial Parking Space(s)	Total Gross Floor	Parking Spaces Provided
<p>Establishments for the sale and consumption on the premises of food and beverages having 4,000 square feet or more;</p> <p>Forty plus one for each 50 square feet of gross floor area in excess of 4,00 square feet.</p>	<p>2,936 sq. ft (Phase 1 Chismosa)</p> <p>5,023 sq. ft (Phase 2 restaruant)</p> <p>Total: 7,959 sq. ft = 119 parking spaces required</p>	<p>None provided</p>

**ABC Licenses – Eating Place (Restaurant):**

All businesses wishing to sell alcohol in California must apply for and obtain a license from the State Department of Alcoholic Beverage Control (the Department). In the case of a nonretail license or a retail license for a restaurant, hotel/motel, beer manufacturer, or winegrower, the applicant must show ABC that public convenience or necessity would be served by the issuance of the license. Bus & P C §23958.4(b)(1).

ABC issues a retail license to allow for the direct sale of alcohol to customers for either on-site and/or off-site consumption. Allen Aceves (Chismosa Business Owner) and Dimitri Constantine (Property Owner and Business Owner of the proposed restaurant) will seek (2) “Type 47” On-Sale General – Eating Place license from “ABC” for both restaurants. A “Type 47” license basically facilitates the sale of beer, wine and distilled spirits for consumption on the license’s premises, authorizes the sale of beer and wine for consumption off the license’s premises, requires the owner to operate and maintain the licensed premises as a bona fide eating place, maintenance of suitable kitchen facilities, and must make actual and substantial sales of meals for consumption on the premises. Minors are allowed on the premises.

The subject site is within Census Tract No. 4061.01. Per “ABC” records, the City of Covina confirmed there are 16 “Active” and 1 “Pending” License within this census tract. Chismosa will be the 18<sup>th</sup> license and the new restaurant will be the 19<sup>th</sup>.

There are currently seven (7) Type 41 licenses, seven (8) Type 47 licenses, one (1) Type 68/90 license (Laugh Factory) and one (1) Type 77 license (Campsite Brewing) license which are listed below for reference.

	Business Name	Address	License Type	Original Issue Date	Census Tract
1	Casa Moreno Grill	223 N. Citrus Avenue	47	8/31/05	4061.01
2	Laugh Factory	104 N. Citrus Avenue	68/90	5/1/23	4061.01
3	3 Vinos, Inc.	201 N. Citrus Avenue	47	8/11/09	4061.01
4	Bread & Barley	130 N. Citrus Avenue	41	9/26/13	4061.01
5	Pan E Vino	143 N. Citrus Avenue	41	10/3/14	4061.01
6	Artist Pizzeria	113 N. Citrus Avenue	41	11/21/04	4061.01
7	Rude Dog bar & Grill	114 N. Citrus Avenue	41	9/22/16	4061.01
8	El Camichin Mariscos	307 N. Citrus Avenue	47	5/11/17	4061.01
9	Ola Sports Bar	211-215 N. Citrus Avenue	47	7/3/18	4061.01
10	Giovanni's Ristorante	114 E. Italia Street	47	6/14/18	4061.01
11	City Grill	147 E. College Street	47	9/22/18	4061.01
12	Domestic BBQ	325 N. Citrus Avenue	41	8/2/19	4061.01
13	El Oasis Fisheria	129 N. Citrus Avenue	41	12/16/19	4061.01
14	Scoops on Tap	491 N. Citrus Avenue	41	6/30/2022	4061-01
15	Gladia8tor	321 N Citrus Ave	47	09/12/2023	4061-01
16	Campsite Brewery	321 E Front St	77	5/2/23	4061-01
17	Bravado	230 N Citrus Ave	47	Pending	4061.01

Condition of Approval B.6 has been added stating that, “In the event the applicant requires approval of a Public Convenience of Necessity (PCN), the Planning Commission’s approval of the requested entitlements also includes the endorsement of the Planning Commission recommending the City Council adopt a resolution affirming the determination.”

Signage:

Proposed signage by the applicant is not a part of this review and approval. A separate sign permit application and related plans will be required showing compliance with the City’s sign ordinance for the property.

Conditional Use Permit:

Establishments proposing on-site alcohol sales, provide live entertainment, and outdoor dining with alcohol within the Town Center Specific Plan, Cultural Core District, require a Conditional Use Permit. The applicant is requesting approval for two (2) bona-fide establishments and 4,830 sq. ft outdoor area with on-site alcohol sales.

**FINDINGS OF FACTS**

CMC Section 17.62.120 provides that the Planning Commission, in approving a Conditional Use Permit shall find as follows:

**A. Findings for Conditional Use Permit (CMC Section 17.62.026(C))**

Based on an analysis of the proposed project, the following findings for a Conditional Use Permit can be made:

**1. Subsection (B) of this Section 17.62.026 shall not apply to liquor on-sale in conjunction with a bona fide eating establishment.**

**Facts:** The Applicant is proposing two (2) "bona-fide eating establishment with 4,830 sq. ft dining area," thereby exempting conditional use permit requirements under CMC Section 17.62.026(B)(1) with respect to liquor and on-sale establishments. **Therefore, as proposed, this criterion has been met.**

## **B. Findings for Conditional Use Permit (CMC Section 17.62.120)**

- 1. The site for the proposed use is adequate in size and shape to accommodate the use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this title to adjust the use with land and uses in the neighborhood.**

*Facts:* The overall 4,080-square-foot building has existed on the subject site well over 50 years, with no known issues pertaining to appurtenant commercial activities. The space in which the proposed two (2) bona-fide eating establishments would operate appears to have sufficient physical dimensions to support the general restaurant business plus the entertainment related and onsite liquor service on both restaurants and outdoor food trailers. The proposed 4,830 square-foot outdoor dining area with 4 permanent food trailers will be completely within the property. In addition, as noted under project analysis, the adjoining public parking lots would accommodate the parking needs of the business. The subject site is located within the Covina Town Center Specific Plan (CTCSP) Cultural Core Zone and is identifiable by its mix of retail stores, services, restaurants, cultural and entertainment venues, and residential uses. On-street dining is encouraged to draw foot traffic to the area known to have a characteristic of the Historic "strollable" downtown. Compatible new development on vacant, underutilized sites that compliments and enhances the historic look and feel of the district attracts local and regional visitors to the area. The shared use of existing parking facilities supports the rejuvenation of older structures. **Therefore, as proposed, this criterion has been met.**

- 2. That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use.**

*Facts:* The site is located within an established downtown area, uses conform well to the surrounding neighborhood infrastructure, and support services with access to major streets, freeway system, and retail services. The proposed use involves two bona-fide eating establishment, on-site alcohol sales, outdoor dining, and live entertainment would generate a negligible increase in traffic. There are multiple parking facilities surrounding the site which can avoid congestion. The City/Traffic engineer has reviewed the proposal and determined that College Street has sufficient widths and capacities to accommodate the trips. **Therefore, as proposed, this criterion has been met.**

- 3. The proposed use will have no adverse effects on the abutting properties or the permitted use thereof.**

*Facts:* As noted under the first finding, the appurtenant commercial building has existed for many years, and the scope of the current physical enhancements entail an interior tenant improvement to accommodate a new sit-down restaurant in conjunction with the on sale of alcohol, a 4,000 square feet outdoor dining area with (4) four permanent food trailers installed to offer a variety of food and the consumption of alcohol within the premises. Relative to the current building and supporting improvements on the project site, the changes would constitute a refinement of the building and its appurtenances, clearly visible from all surrounding views. The refurbished property would conform to the development intensity of the surroundings and meet the character of adjacent buildings in terms of architecture and style. In addition, the overall improvements would bring more people to the property, particularly during the evening and weekend periods, which would enhance social vitality. No potentially negative impacts relative to the on-site liquor service and the outdoor eating have been identified. In addition, the proposed sit-down restaurant and, the outdoor dining area in conjunction with on sale alcohol within the premises it would not become a nuisance for adjacent businesses and residences. The proposed (2) two "bona-fide eating establishment" conjunction with on-sale of alcohol is exempt from conditional use permit requirements under CMC Section 17.62.026(B)(1) with respect to liquor, on-sale establishments within 700 feet from a place used exclusively for religious worship, school, park, playground, residential or any similar sensitive use. The Applicant will be required to obtain an entertainment permit through the Covina Police Department. **Therefore, as proposed, this criterion has been met.**

4. **That the conditions stated in the decision are deemed necessary to protect public health, safety, and general welfare. Such conditions include regulation of use, regulation of signs, requiring maintenance of grounds, regulation of noise, vibrations, odors, etc., regulation of time for certain activities, duration of use, and any such other conditions as will make possible the development of the city in an orderly and efficient manner and conformity with the intent and purposes set forth in this title.**

**Facts:** The operation of two bona fide eating establishment with the on-sale of beer, wine, and distilled spirits for consumption is conditionally permitted within the CTCSP Cultural Core Zone. All activities associated with the business will be conducted in a manner that will meet the provisions of Chapter 9.40 (Noise - which seeks to prevent unusual noises and vibrations). Approval of these applications will expire three years from the date of Project approval if building permits are not issued unless otherwise extended pursuant to applicable laws. Conditions of approval have been formulated to ensure that the proposed improvements for a bona-fide eating establishment with on-site alcohol sale will operate in a manner consistent with the Covina Municipal Code and will not negatively affect the public health, safety, and general welfare of the community. The proposed use would only involve beer, wine, and spirits sales associated with a (permitted by right) typical sit-down restaurant. Conditions of approval will ensure that the site maintains 50% of the gross floor area for the seating of patrons for the purpose of meals. The business would comply with the required Bona-Fide Eating Establishment criteria under Section 17.04.100 of the Covina Municipal Code. No major public health or safety-related impacts have been identified during the project review. The Development Review Committee, comprised of Building and Safety, Environmental Services, Los Angeles County Fire, Covina Police Department, and Planning and Engineering, was provided an opportunity to review and comment on the project application. In addition, the proposed use has been conditioned to ensure that no potential issues would arise during operations. The staff's comments confirm that the proposed use would operate in a manner consistent with the Covina Municipal Code and would not negatively affect the public health, safety, and general welfare of the community. **Therefore, as conditioned, this criterion has been met.**

### **C. Findings for Site Plan Review (CMC Section 17.64.070)**

In order to approve the Site Plan Review (SPR) application, the Planning Commission must make the findings as listed below:

#### **1. All provisions of Title of the CMC are complied with;**

**Facts:** As described in detail within the "Project Analysis," the proposed operation of two bona-fide eating establishment with on-sale of alcohol along with a 4,830 square feet outdoor dining area with 4 food trailers in conjunction with on sale alcohol within the Town Center Specific Plan, Cultural Core Zone. Conditions of approval will ensure that the site maintains 50% of the gross floor area for the seating of patrons for the purpose of meals. The businesses would comply with the required Bona-Fide Eating Establishment criteria under Section 17.04.100 of the Covina Municipal Code. The site is located within an established area characterized by existing streets, sidewalks, walls, existing structures, and uses that conform well to surrounding neighborhood infrastructure, circulation, and support services. The project would have no negative impacts on existing streets and sidewalks in that the proposed project is an outdoor dining area with a change of use request from an existing office structure to a Bona-Fide eating establishment with on-sale alcohol and a second existing a bona-fide eating establishment proposing to offer on-sale alcohol, with minimal impact on existing and surrounding traffic conditions with the proximity to public transit, and other forms of accessible transportation options (i.e., Uber, walking, cycling, etc.) With the proposed modifications, overall site improvements, and recommended conditions of approval, the proposed use will have no adverse effect on surrounding properties. **Therefore, as conditioned, this criterion has been met.**

- 2. The design and layout of the proposed development are consistent with the general plan, zoning code, development standards of the applicable zoning district, specific plans, design guidelines and objective design standards;**

*Facts:* The proposed scope of work is consistent and conforms to the City of Covina's General Plan Goals No. , Objective No. 3, Policy No. 7, in that the proposed outdoor dining area in conjunction with on sale alcohol and two bona-fide eating establishment in conjunction with on sale alcohol use "facilitate development for community economic betterment, image enhancement, will not adversely affect the integrity of established commercial and/or industrial areas, encroach into residential neighborhoods, or impose undue burdens on local infrastructure or services." The site is located within an established downtown area, uses conform well to the surrounding neighborhood infrastructure, and supports services with access to major streets, freeway system, and retail services. Conditions of approval will ensure that the site maintains 50% of the gross floor area for the seating of patrons for the purpose of meals. The business would comply with the required Bona-Fide Eating Establishment criteria under Section 17.04.100 of the Covina Municipal Code. As such, the proposed scope of work satisfies all applicable guidelines to the project, as outlined under the Town Center Specific Plan Standards, the Covina Design Guidelines, and General Plan. **Therefore, as conditioned, this criterion has been met.**

- 3. The design of the proposed development or the alterations to existing structures will not interfere with the use and enjoyment of existing neighborhood and future development, and will not create traffic or pedestrian hazards;**

*Fact:* As previously stated under "Project Analysis," the subject site is located within the CTCSP - Cultural Core Zone and is identified by its mix of retail stores, services, restaurants, cultural, entertainment venues, and residential land uses contribute to the vitality of the Covina Town Center through the attraction of local and regional visitor. Strong pedestrian connections to the Covina Metrolink station and nearby higher density residential uses will contribute to a vibrant activity center and destination for visitors, transit riders, and employees. Reduced development requirements and the encouragement of shared use of parking facilities will support the transition of land uses. The subject site is within an established area characterized by commercial and retail, connecting well to existing neighborhood infrastructure and support services. Proposed improvements to the site are aesthetically pleasing, functional, and visually compatible with neighboring structures and the area within which it is proposed to be located and follow the Town Center Specific Plan's Design Guidelines. **Therefore, this criterion has been met.**

- 4. The proposed development has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA);**

*Fact:* The proposed Project is designed and in conformance with development standards consistent with the character, appearance, and features described within the CTCSP, thereby facilitating the desired sustainability and stability adequate for its environment, the neighborhood, and the community it will serve. The project involves interior improvements/upgrades to accommodate two restaurants and 4,830-square-foot outdoor dining area involving fences, planters, moveable outdoor furniture and four (4) permanent food trailers. No structural additions are proposed other than a 4,830-square-foot gated outdoor seating area. Staff has determined that the project is exempt from the requirements of California Environmental Quality Act (CEQA) Guidelines under the Class 1 exemption under state CEQA Guidelines Section 15301, which consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. **Therefore, this criterion has been met.**



**5. The proposed development will not be detrimental to the public health, safety or welfare or materially injurious to the properties or improvements in the vicinity;**

*Facts:* Construction activities during the tenant and exterior improvements are not likely to cause serious public health problems. All potentially hazardous materials used during project construction will be disposed of in accordance with manufacturers' specifications and instructions, thereby reducing the risk of hazardous materials use. In addition, the Project would comply with all applicable federal, state, and local requirements concerning the use, storage, and management of hazardous materials, including but not limited to the Resource Conservation and Recovery Act, California Hazardous Waste Control Law, federal and state Occupational Safety and Health Acts, SCAQMD rules, and permits and associated conditions issued by the Building and Safety Division. **Therefore, as conditioned, this criterion has been met.**

**6. The development complies with the provisions for dedications, public improvements and undergrounding utilities pursuant to CMC 17.64.140 and congestion management and transportation demand management requirements pursuant to CMC 17.64.150;**

*Facts:* All new utility service lines that are installed to serve the tenant space shall be placed underground. The Applicant shall comply with any other utility and/or street improvements required by the Department of Public Works (Engineering, Traffic, and Environmental Services). **Therefore, as conditioned, this condition has been met.**

**PUBLIC HEARING NOTICE AND NOTIFICATION**

All property owners within a radius of at least 300 feet from the overall project site were mailed notices of the Planning Commission public hearing a minimum of ten (10) days before the hearing as required by law. In addition, the public hearing notice for the 10<sup>th</sup> of September, 2024 was published in the San Gabriel Valley Examiner newspaper on August 29<sup>th</sup>, 2024

**ENVIRONMENTAL DETERMINATION**

Staff has determined that the project is exempt from the requirements of California Environmental Quality Act (CEQA) Guidelines under the class 1 exemption under state CEQA Guidelines Section 15301, which consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The project involves only minor alterations of an existing private structure involving negligible or no expansion of the existing or former use, and is located in an area where all public services and facilities are available. The project involves only exterior improvements/upgrades to accommodate multiple mobile food trailers and install new shade canopies. No structural additions are proposed other than a 4,830-square-foot outdoor seating area gated that's within private property. Approval of this project would not result in any significant effects relating to traffic, noise quality, or water quality. The site can be adequately served by all required utilities and public services. There is no substantial evidence that the project will have a significant effect on the environment.

**STAFF RECOMMENDATION**

Staff recommends that the Planning Commission adopt Resolution No. 2024-014 PC approving Conditional Use Permit (CUP) 23-10 and Site Plan Review (SPR) 23-281 with the attached Conditions of Approval, and making a determination of exemption of the California Environmental Quality Act (CEQA) guidelines.



Prepared by:

Approved By:



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Eduardo Lomeli  
Assistant Planner



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Brian K. Lee  
Director of Community Development

**ATTACHMENTS**

- A. City Application**
- B. Phase 1 and Phase 2 Operation Plans**
- C. Project Plans**
- D. Resolution No. 2024-014 PC W/ Conditions of Approval**

# **ATTACHMENT A**

## **City Application**





# Standard Application Form – 1

Community Development Department – Planning Division

125 East College Street • Covina, California 91723 • (626) 384-5450 / Fax: (626) 384-5479

### Applicant Information

Proposed Project Name: 128-132 E College Street Outdoor Patio		<b>STAFF USE ONLY</b>
Project Address: 128-132 E College Street, Covina, CA, 91723		
Assessor's Parcel Number (APN): 8445-009-040		File No. _____
Applicant Name: Omega Line Property Group LLC		Assigned Planner: _____
Phone: 213-422-9211	E-Mail: dimitris@easygroup.us	
Applicant address: 1443 E Washington Blvd Ste 315, Pasadena, CA, 91104		
Property Owner Name (if different than above): _____		
Property Owner Contact Information: _____		
Property Owner Address: _____		
CC Property Owner in Correspondence? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		

### Project Type

Please check the type of project review requested. If you are applying for more than one review you may check all that apply.

- |  |  |   |
|--|--|---|
| <input checked="" type="checkbox"/> Conditional Use Permit   | <input type="checkbox"/> PCD Amendment   | <input type="checkbox"/> Tree Preservation Permit<br><input type="checkbox"/> Minor |
| <input type="checkbox"/> Development Agreement               | <input type="checkbox"/> Public Convenience or necessity (ABC)                           | <input type="checkbox"/> Vacation of Alley, Easement, Street                        |
| <input type="checkbox"/> General Plan Amendment              | <input type="checkbox"/> Site Plan Review-Major  | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Historic Structure Designation      | <input type="checkbox"/> Site Plan Review-Minor (Residential)                            | <input type="checkbox"/> Variance (Minor)   |
| <input type="checkbox"/> Lot Line Adjustment/Lot Merger      | <input type="checkbox"/> Site Plan Review-Minor (Non-Residential)                        | <input type="checkbox"/> Zoning Code Amendment/ Zone Change                         |
| <input type="checkbox"/> Pre-Application Review              | <input type="checkbox"/> Tentative Parcel Map<br><input type="checkbox"/> Time Extension | <input type="checkbox"/> _____<br>(Other)   |
| <input type="checkbox"/> Planned Community Development (PCD) | <input type="checkbox"/> Tentative Tract Map<br><input type="checkbox"/> Time Extension  | <input type="checkbox"/> _____<br>(Other)   |

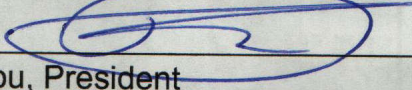
### Project Description

Provide as much detail as possible/attach additional pages if necessary

Patio creation at the south side of 128-132 E College Street building

### Property Owner Certification

I certify that I am presently the legal property owner of the above described property. Further, I acknowledge the filing of this application and certify that all of the above information is true and correct. If applicant is different from the legal property owner, a property owner's authorization form must accompany this application (Standard Application – 2). Insert N/A below if submitting authorization form.

Date: 12/06/2023 Signature:   
Print Name and Title: Dimitris Constantinou, President

### STAFF USE ONLY

Date Received:	Received by:	Fees:	Receipt No:
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# Standard Application – 2 Property Owner’s Authorization Form

Community Development Department – Planning Division

125 East College Street • Covina, California 91723 • (626) 384-5450 / Fax: (626) 384-5479

List the name(s) and address(es) of all property owner(s).

- Owner Name: Dimitris Constantinou / Omega Line Property Group LLC  
 Complete Address: 1443 E Washington Blvd, Ste 315, Pasadena, CA, 91104  
 Email: dimitris@easygroup.us Phone: 213-422-9211
- Owner Name: \_\_\_\_\_  
 Complete Address: \_\_\_\_\_  
 Email: \_\_\_\_\_ Phone: \_\_\_\_\_
- Owner Name: \_\_\_\_\_  
 Complete Address: \_\_\_\_\_  
 Email: \_\_\_\_\_ Phone: \_\_\_\_\_

### Certification Statement

This letter shall serve to notify you and certify that I/we am/are the legal owner(s) of the property described in the attached application and do hereby authorize:

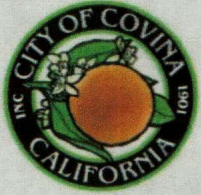
Applicant’s Name: Dimitris Constantinou Phone: 213-422-9211  
 Applicant’s Complete Address: 1443 E Washington Blvd, Ste 315, Pasadena, CA, 91104 Email: dimitris@easygroup.us

To file and present my/our interest for the referenced application(s): \_\_\_\_\_

Name (printed): Dimitris Constantinou  
 Title: President Date: 11/30/2023

Signature: \_\_\_\_\_





# Standard Application – 3 Project Description Form

Community Development Department – Planning Division

125 East College Street • Covina, California 91723 • (626) 384-5450 / Fax: (626) 384-5479

The following information must be completed and submitted with new applications: (Print or type all information entered)

### A. General Information

Project Address or Assessor's Parcel Number: 8445-009-040

Site Area: 10500 Building Area: 5,500 Building Height: \_\_\_\_\_ No. of Floors: 1

Total anticipated number of employees: 15 Max shift: 2 Hours of operation: 8am - 10pm

Does the business involve the sale of any food or beverages?  No  Yes

Will the project be built in phases?  No  Yes If YES, a phasing plan is required to be submitted.

Will any permits be required from agencies other than the City (including a Hazardous Materials Business Plan)?

No  Yes If yes, list: ABC

Will the project use, store, or dispose of potentially hazardous chemicals, materials, toxic substances, flammables or explosives?  No  Yes If yes, describe: \_\_\_\_\_

If any of the above answers are YES, please describe in detail on a separate sheet.

### B. Existing Land Uses of the Subject and Surrounding Properties

Subject property: (1700) Commercial (128-132 E College Street)

North: (8821) Other Property Type Gov Owned

East: (1100) Commercial (140 E College Street)

South: (1213) Commercial (135 E Badillo St)

West: (2733) Commercial Gov Owned (124 E College Street)

### C. Physical Site

Will the project modify existing natural features?  No  Yes If YES, please describe in detail on a separate sheet?

Estimated cubic yards of grading involved in the project:  None  Cut = \_\_\_\_\_ Fill = \_\_\_\_\_

What is the maximum height and grade of constructed slopes? N/A

### D. Archaeological/Historical

Is the project located in an area of archaeological or historical sensitivity as identified in the Covina General Plan?

No  Yes If YES, please describe in detail on a separate sheet.

### E. Flora and Fauna

Describe the types of vegetation and trees in the project area: none

\_\_\_\_\_

\_\_\_\_\_

Number of Oak trees on the site: 0 Number of Oak trees to be removed: 0 a Tree Permit application must be obtained

Describe the types of wildlife found in the project area: none

\_\_\_\_\_



**F. Noise**

Will the project increase noise levels within the project area of surrounding neighborhood?

No  Yes If **YES**, please describe in detail on a separate sheet

Will the project increase the amount of light, vibration, dust, ash, smoke, or odors during construction or after development?  No  Yes If **YES**, please describe in detail on a separate sheet.

**G. List of Attached Environmental Reports**

N/A

Contact person for environmental: \_\_\_\_\_ Phone: \_\_\_\_\_

Environmental firm: \_\_\_\_\_ E-mail: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

**H. Certifications**

Government Code Section 65962.5 requires the Planning Division to make available to applicants the most current list of "Identified Hazardous Waste Sites" from the State Office of Planning and Research. The list is available on the web at [http://www.dtsc.ca.gov/SiteCleanup/Cortese List](http://www.dtsc.ca.gov/SiteCleanup/Cortese_List) under Mandated Web Site Postings.

All applicants must complete and sign the following statement in order for the Planning Division to deem the application complete.

"I, Dimitris Constantinou, certify that I have reviewed the list of "Identified Hazardous Waste Sites" from the Office of Planning and Research and have determined that the site that is the subject of this application is not on said list."

I hereby certify that to the best of my ability, the statements furnished above and the exhibits submitted with this application present the data and information required for this initial evaluation and that the facts, statements, and information presented are true and correct to the best of my knowledge. Furthermore, I understand that failure to provide the plans and information required may result in this application not being accepted as complete for planning and processing.

Name (printed): Dimitris Constantinou Date: 12/06/2023

Signature: 

Representative for: Omega Line Property Group LLC

Title: President



# **ATTACHMENT B**

## **Phase 1 and Phase 2 Operation Plans**

## Attachment A (CUP Application) Chismosa Cafe's Patio Operating Plan

Overview Chismosa Cafe is excited to announce the development of our new back patio, designed to enhance our customers' experience by offering a unique and dynamic outdoor space. This project aims to create a vibrant community hub that features a diverse range of food and beverage options, entertainment, and cultural events.

### Key Features

1. **Airstream Trucks**: - **Beverage Truck**: Serving a selection of beer, wine, and soft drinks. This truck will be a central feature, providing refreshing beverages to complement our food offerings and events. - **Food Truck**: Offering an eclectic menu that includes fun salads and sandwiches during the day, transitioning to a taco speakeasy at night. This truck will also host guest chefs on special weekends, bringing diverse cuisines from around the world to our patrons.
2. **Events and Activities**: - **Food Events and Markets**: Regularly scheduled events showcasing local and international culinary talents. - **Craft Fairs and Markets**: Hosting artisans and craftspeople, providing a space for the community to explore and purchase handmade goods.
3. **Operating Hours - Back Patio (Phase 1 Outdoor Space)**: Open from 9 AM to 11 PM, Tuesday through Sunday. - **Chismosa Cafe (Indoor Existing Space)**: Operating from 9 AM to 4 PM, Wednesday through Sunday. - **Deliveries**: Scheduled for Mondays when the restaurant is closed to the public, ensuring smooth operations without disrupting our guests.
4. **Benefits to the Community - Enhanced Dining Experience**: The addition of the Airstream trucks will offer an expanded menu and unique dining options, appealing to a wide range of tastes and preferences. - **Cultural and Social Hub**: By hosting diverse events and markets, the back patio will become a vibrant gathering place for the community, fostering social interactions and cultural exchange. - **Support for Local Businesses**: Our craft fairs and food markets will provide a platform for local artisans and food vendors to showcase their products, supporting small businesses and the local economy.
5. The new back patio at Chismosa Cafe represents a significant investment in our community, providing a versatile space that will enhance the overall experience for our customers. We are committed to creating a welcoming environment where people can enjoy great food, refreshing drinks, and engaging events. We look forward to your support and participation in making this new addition a success. --- We are excited about the possibilities this new space will bring and are confident it will become a cherished part of our community. Thank you for your continued support of Chismosa Cafe.



## **Attachment B (CUP Application) Landlord's Phase 2 Operating Plan**

Landlord is excited to repurpose the back patio for expanded seating / dining area in Phase 2. When Phase 2 is completed, the Drive Aisle will be used by existing tenant at 128 E College Street for deliveries from 8am to 5pm, M-F. From 5pm to 11pm, and on Weekends, the Drive Aisle will be open for Phase 1 and Phase 2 restaurant occupancies/areas.

# **ATTACHMENT C**

## **Project Plans**



**AREA SCHEDULE - PLUMBING FIXTURE MATRIX-PER TABLE A) PHASE 1**

AREA NAME	AREA	OCCUPANCY	OCCUPANT LOAD FACTOR-CPC	OCCUPANT LOAD-CPC
132 E COLLEGE	1452 SF	A-2	1:30	48
PHASE 1 EXTERIOR	1484 SF	A-2	1:30	49
<b>TOTALS</b>	<b>2936 SF</b>			<b>97</b>

**AREA SCHEDULE - PLUMBING FIXTURE MATRIX-PER TABLE A) PHASE 2**

AREA NAME	AREA	OCCUPANCY	OCCUPANT LOAD FACTOR-CPC	OCCUPANT LOAD-CPC
128 E COLLEGE	3623 SF	A-2	1:30	120
PHASE 2	758 SF	A-2	1:30	25
SIDEYARD (PH.2)	643 SF	B	1:30	21
<b>TOTALS</b>	<b>5023 SF</b>			<b>166</b>

**AREA SCHEDULE - PLUMBING FIXTURE MATRIX-PHASE 1 AND 2 COMBINED**

AREA NAME	AREA	OCCUPANCY	OCCUPANT LOAD FACTOR-CPC	OCCUPANT LOAD-CPC
128 E COLLEGE	3623 SF	A-2	1:30	120
132 E COLLEGE	1452 SF	A-2	1:30	48
PHASE 2	758 SF	A-2	1:30	25
PHASE 1 EXTERIOR	1484 SF	A-2	1:30	49
SIDEYARD (PH.2)	643 SF	B	1:30	21
<b>TOTALS</b>	<b>7959 SF</b>			<b>263</b>

**SUMMARY MINIMUM REQ'D PLUMBING FIXTURES (PER CPC TABLE 422.1):**

**PHASE 1**  
**TOTAL CPC OCCUPANT LOAD = 97 OL (49 MALE + 49 FEMALE)**

**MALE (49 OL)**

WATER CLOSETS	MIN 1 REQ'D
URINALS	MIN 1 REQ'D
LAVATORIES	MIN 1 REQ'D

**FEMALE (49)**

WATER CLOSETS	MIN 2 REQ'D
LAVATORIES	MIN 1 REQ'D

**PHASE 2**  
**TOTAL CPC OCCUPANT LOAD = 166 OL (83 MALE + 83 FEMALE)**

**MALE (83 OL)**

WATER CLOSETS	MIN 2 REQ'D
URINALS	MIN 1 REQ'D
LAVATORIES	MIN 1 REQ'D

**FEMALE (83 OL)**

WATER CLOSETS	MIN 3 REQ'D
LAVATORIES	MIN 1 REQ'D

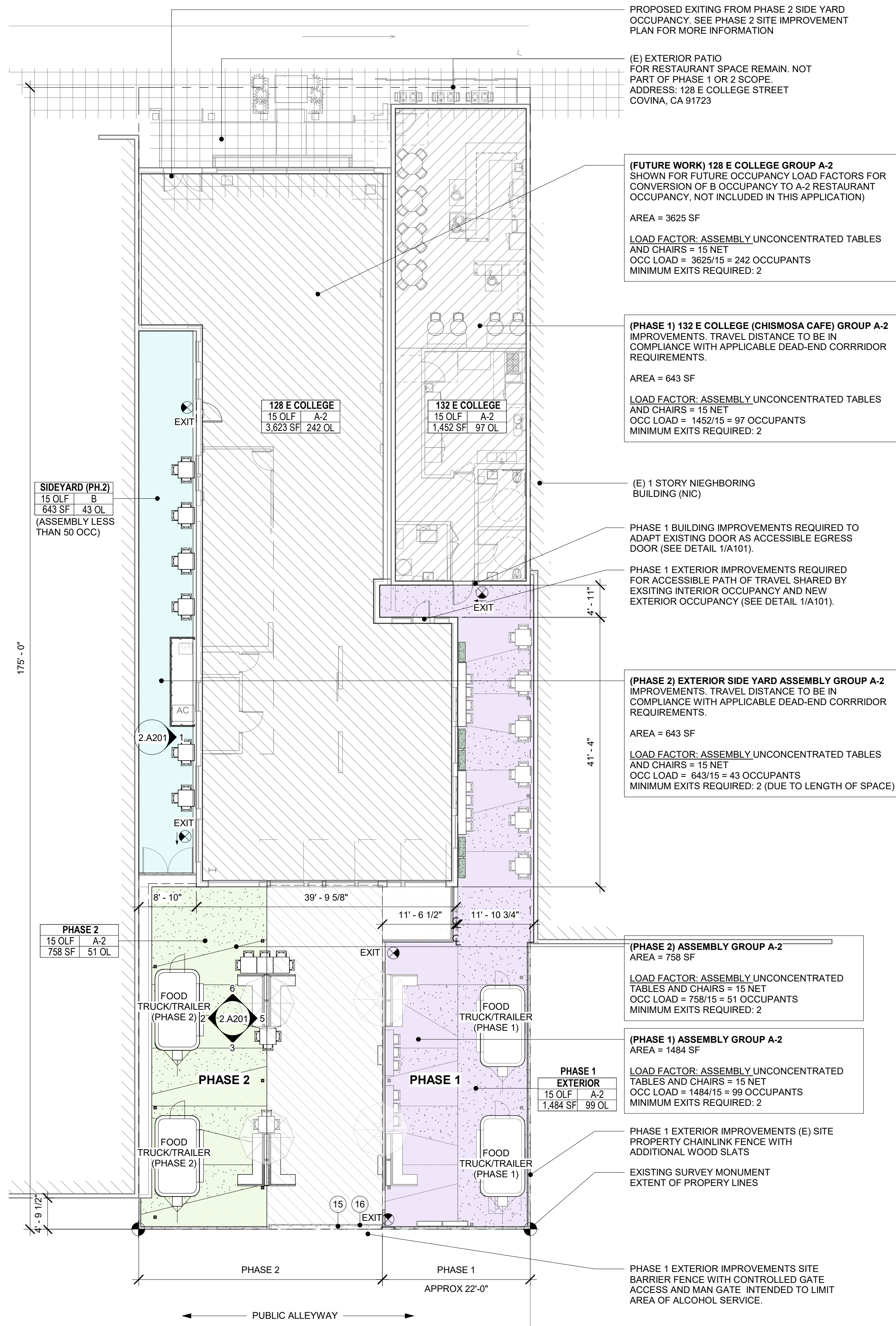
**PHASE 1 & 2 COMBINED**  
**TOTAL CPC OCCUPANT LOAD = 263 OL (132 MALE + 132 FEMALE)**

**MALE (132 OL)**

WATER CLOSETS	MIN 2 REQ'D
URINALS	MIN 1 REQ'D
LAVATORIES	MIN 1 REQ'D

**FEMALE (132 OL)**

WATER CLOSETS	MIN 4 REQ'D
LAVATORIES	MIN 1 REQ'D



1 OVERALL SITE -OCCUPANCY PLAN  
3/32" = 1'-0"

**PHASE/OCCUPANCY PLAN GENERAL NOTES:**

- PER 303.1.1 SMALL BUILDINGS AND TENANT SPACES: A BUILDING OR TENANT SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD OF LESS THAN 50 PERSONS SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY. SEE PLAN WHERE NOTED OTHER THAN ASSEMBLY OCCUPANCIES.

**PROJECT SCOPE OF WORK**

APPLICATION FOR PLANNING, BUILDING AND HEALTH DEPARTMENT APPROVAL OF PROPOSED EXTERIOR PATIO.  
PROPOSED WORK INCLUDES 2 PHASES:

**PHASE 1:**

- MODIFICATIONS TO EXISTING EXTERIOR DOOR TO IMPROVE PUBLIC ACCESSIBILITY TO INTERIOR TENANT SPACE.
- REPAVING OF EXISTING EXTERIOR CONCRETE AT PROPOSED PATIO OCCUPANCY.
- NEW SECURITY FENCE AND GATE TO ALLOW FOR SALES OF ALCOHOLIC BEVERAGES.
- ADDITION OF LOOSE DINING FURNITURE FOR FOOD WITHIN EXTERIOR PATIO.
- ADDITION OF OVERHEAD SHADES AND FESTOON LIGHTING.
- SPACE ALLOCATED FOR POWER HOOKUPS OF FOOD SERVICE TRAILERS.
- REMOVAL OF ONSITE PARKING STALLS AND RELOCATION TO SHARED PARKING GARAGE.
- SHARED FACADE EASEMENT FOR ATTACHMENT OF OVERHEAD LIGHTING AND SHADES AT PROPOSED EXTERIOR PATIO.
- (CUP) APPROVAL OF PHASED IMPROVEMENTS WITHIN SHARED PARKING LOT TO INCLUDE SIMILAR FOOD VENDOR PROGRAM (UNDER PHASED PERMIT APPLICATION).
- DEFERRED PLUMBING FIXTURE IMPROVEMENTS TO PHASE 2.

**PHASE 2:**

- REMOVAL OF REMAINING ONSITE PARKING STALLS. (SEE SITE PLAN)
- WATER AND POWER UNDERGROUND UTILITIES FOR (2) VENDOR FOOD TRUCKS.
- ADDITION OF OVERHEAD FESTOON LIGHTING.
- ADDITION OF LOOSE DINING FURNITURE FOR FOOD WITHIN EXTERIOR PATIO.
- EXTERIOR SIDEYARD IMPROVEMENTS.
- PLUMBING FIXTURE IMPROVEMENTS FOR PHASE 1 AND 2 COMBINED OCCUPANCY.

**PROJECT ADDRESSES:**

128 E COLLEGE STREET COVINA, CA 91723 & 132 E COLLEGE STREET COVINA, CA 91723

AIN#:	8445-009-040
ZONING:	TCSP - CULTURAL CORE
SPECIFIC PLAN:	TCSP - TOWN CENTER SPECIFIC PLAN
LOT AREA:	10,500 SF (PER LA COUNTY ASSESSOR)
(E) BLDG AREA:	2,526 SF TO REMAIN
(N) BLDG AREA:	N/A, EXTERIOR IMPROVEMENTS ONLY

CONSTRUCTION:	EXISTING, TYPE V
OCCUPANCY:	EXISTING, B (INTERIOR) NEW A (EXTERIOR)
FIRE SPRINKLER:	EXISTING NFPA 13 (BY OTHERS)
FIRE ALARM:	EXISTING NFPA 72 (BY OTHERS)
PARKING:	REFER TO PARKING ANALYSIS ON EXISTING SITE PLAN

**PROJECT TEAM & CONSULTANTS**

**PROJECT OWNER/TENANT:**

DR. DIMITRIS CONSTANTINO  
EASY GROUP LLC  
128 E COLLEGE STREET  
COVINA, CA 91723

**PROJECT TENANT (CHISMOSA CAFE):**

MR. ALLEN ACEVES  
CHISMOSA CAFE LLC  
132 E COLLEGE STREET  
COVINA, CA 91723

**PROJECT ARCHITECT:**

COREY LOREN POPE DBA LOREN DESIGN  
514 W 5TH STREET  
SAN DIMAS, CA 91773  
P: 760.822.4654

**SEPARATE/DEFERRED APPROVALS (BY OTHERS):**

- THIS DRAWING SUBMISSION PACKAGE INCLUDES ARCHITECTURAL SCOPE FOR PURPOSES OF CITY OF COVINA CONDITIONAL USE PERMIT ONLY, AND IS DIAGRAMMATIC IN NATURE. SEPARATE DESIGN SUBMITTALS FOR OTHER DESIGN DISCIPLINES ARE TO BE PERFORMED BY LICENSED DESIGN PROFESSIONALS, AND IS NOT IN SCOPE OF LOREN DESIGN.
- ALL EXISTING SITE FEATURES DEPICTED WITHIN DRAWINGS ARE TO REMAIN, UNLESS NOTED OTHERWISE. ALL SITE IMPROVEMENTS ARE TO BE INSTALLED BY LICENSED CONTRACTOR IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

**SHEET INDEX**

SHEET NO.	SHEET DESCRIPTION	SHEET DISCIPLINE	PROJECT PHASE
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1.G002	PROJECT GENERAL NOTES-CONDITIONAL USE PERMIT NOTES	GENERAL	TYPICAL
1.G003	BASIS OF DESIGN - EXTERIOR LIGHTING	GENERAL	TYPICAL
<b>ARCHITECTURE</b>			
1.A100	EXISTING REAR SITE PLAN	ARCHITECTURE	PHASE 1
1.A101	PHASE 1 - EXTERIOR TENANT IMPROVEMENT PLAN	ARCHITECTURE	PHASE 1
1.A201	PHASE 1-EXTERIOR ELEVATIONS	ARCHITECTURE	PHASE 1
1.A202	PHASE 1-EXTERIOR RENDERINGS	ARCHITECTURE	PHASE 1
1.A401	EXISTING- ADA ENLARGED IMPROVEMENT PLAN	ARCHITECTURE	PHASE 1
1.A902	DETAILS - ACCESSIBILITY DETAILS COMMON & PUBLIC AREAS	ARCHITECTURE	TYPICAL
2.A101	PHASE 2 - EXTERIOR TENANT IMPROVEMENT PLAN	ARCHITECTURE	PHASE 2
2.A102	PHASE 2-EXTERIOR SIDE YARD PARTIAL PLAN	ARCHITECTURE	PHASE 2
2.A201	PHASE 2-EXTERIOR ELEVATIONS	ARCHITECTURE	PHASE 2
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**WALL LEGEND - ADA IMPROVEMENTS**

	EXISTING WALL/PARTITION
	EXISTING WALL/BUILDING ELEMENTS TO BE DEMOLISHED
	NEW WALL- ADA IMPROVEMENT

**PROJECT AERIAL MAP - DOWNTOWN COVINA**



PREPARED FOR



**BUILDING TENANT:**  
ALLEN ACEVES  
CHISMOSA CAFE  
132 E COLLEGE ST  
COVINA, CA 91723

**BUILDING OWNER:**  
DR. DIMITRIS CONSTANTINO  
EASY GROUP LLC  
128 E COLLEGE ST  
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PROJECT ARCHITECT



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ARCHITECT STAMP

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no.	date	printed / revised
12.13.23		CUP/PLANNING SUBMISSION
04.01.24		CUP/PLANNING SUBMISSION
06.28.24		CUP/PLANNING SUBMISSION

project status

**CONDITIONAL USE PERMIT (CUP) PLANNING PACKAGE**  
**DATE: 06/28/2024**

PROJECT:  
CHISMOSA CAFE-TI  
PROJECT NO: 2202.30  
REF:  
DATE: 04/01/24  
SHEET TITLE:  
PROJECT INFORMATION

SHEET NUMBER:

**1.G001**



GENERAL NOTES - HEALTH DEPARTMENT

RINSE/WORK SINK

1. A SINGLE COMPARTMENT RINSE/WORK SINK MAY BE PROVIDED IN SERVICE AREAS WHERE BLENDERS OR SIMILAR EQUIPMENT ARE RINSED AND THE THREE-COMPARTMENT SINK IS NOT LOCATED WITHIN THE AREA. NOTE: RINSE/WORK SINK WILL NOT BE A SUBSTITUTE FOR THE REQUIREMENT OF A 3-COMPARTMENT SINK.

FOOD AND EQUIPMENT PROTECTION

1. NON-PREPACKAGED FOOD ON DISPLAY AND FOOD CONTACT SURFACES SHALL BE PROTECTED FROM CONTAMINATION BY THE USE OF PACKAGING, COUNTER, SERVICE LINE, OR SNEEZE GUARDS THAT INTERCEPT A DIRECT LINE BETWEEN THE CONSUMER'S MOUTH AND THE FOOD BEING DISPLAYED. CONTAINERS WITH TIGHT-FITTING SECURELY ATTACHED LIDS, DISPLAY CASES, MECHANICAL DISPENSERS, OR OTHER EFFECTIVE MEANS, CAFETERIA BUFFET AND SALAD BAR SELF-SERVICE, FOOD PREPARATION EQUIPMENT AND FOOD PREPARATION AREAS SHALL BE PROTECTED BY APPROVED SNEEZE GUARDS. NON-PREPACKAGED FOOD MAY BE DISPLAYED AND SOLD IN BULK ON OTHER THAN SELF-SERVICE CONTAINERS IF THE FOOD IS SERVED BY A FOOD EMPLOYEE DIRECTLY TO A CONSUMER. HYPERLINK \*HTTPS://LEGINFO.LEGISLATURE.CA.GOV/FACES/CODES\_DISPLAYE CTION.XHTML?LAWCODE=HSC&SECTIONNUM=113980\*CALIFORNIA RETAIL FOOD CODE, SECTION 113980. HYPERLINK \*HTTPS://LEGINFO.LEGISLATURE.CA.GOV/FACES/CODES\_DISPLAYE CTION.XHTML?LAWCODE=HSC&SECTIONNUM=114060\*CALIFORNIA RETAIL FOOD CODE, SECTION 114060. HYPERLINK \*HTTPS://LEGINFO.LEGISLATURE.CA.GOV/FACES/CODES\_DISPLAYE CTION.XHTML?LAWCODE=HSC&SECTIONNUM=114153\*CALIFORNIA RETAIL FOOD CODE, SECTION 114153.

FLOOR DRAINS

1. FLOOR DRAINS SHALL BE INSTALLED IN FLOORS THAT ARE WATER-FLUSHED FOR CLEANING AND IN AREAS WHERE PRESSURE SPRAY METHODS FOR CLEANING EQUIPMENT ARE USED. FLOOR SURFACES IN THESE AREAS SHALL BE SLOPED 1/50. APPROXIMATELY ONE-QUARTER INCH (1/4") PER FOOT TOWARD THE FLOOR DRAINS. WHEN FLOOR DRAINS ARE ADDED TO AN EXISTING FACILITY WHERE THE FLOOR SURFACE IS NOT SLOPED, A TWO (2) FOOT SURROUNDING DEPRESSION/SLOPE TO THE FLOOR DRAIN MAY BE REQUIRED. HYPERLINK \*HTTPS://LEGINFO.LEGISLATURE.CA.GOV/FACES/CODES\_DISPLAYE CTION.XHTML?LAWCODE=HSC&SECTIONNUM=114269\*CALIFORNIA RETAIL FOOD CODE, SECTION 114269(A) AND (B).

FLOORS

1. THE FLOOR SURFACES IN ALL AREAS (EXCEPT IN SALES AND DINING AREAS) WHERE FOOD IS PREPARED, PREPACKAGED, OR STORED, EMPLOYEE CHANGE ROOMS, WHERE ANY UTENSIL IS WASHED, WHERE REFUSE OR GARBAGE IS STORED, WHERE JANITORIAL FACILITIES ARE LOCATED, AND IN ALL TOILET AND HAND WASHING AREAS, SHALL BE SMOOTH AND OF DURABLE CONSTRUCTION AND NONABSORBENT MATERIAL THAT IS EASILY CLEANABLE (IMPERVIOUS TO WATER, GREASE AND ACID) (E.G. QUARRY TILE OR TROWELED EPOXY, APPROVED COMMERCIAL GRADE SHEET VINYL OR OTHER APPROVED MATERIALS). PAINTED FLOOR SURFACES AND VINYL COMPOSITION TILE (VCT) ARE NOT ACCEPTABLE. HYPERLINK \*HTTPS://LEGINFO.LEGISLATURE.CA.GOV/FACES/CODES\_DISPLAYE CTION.XHTML?LAWCODE=HSC&SECTIONNUM=114266\*CALIFORNIA RETAIL FOOD CODE, SECTION 114266. HYPERLINK \*HTTPS://LEGINFO.LEGISLATURE.CA.GOV/FACES/CODES\_DISPLAYE CTION.XHTML?LAWCODE=HSC&SECTIONNUM=114266\*CALIFORNIA RETAIL FOOD CODE, SECTION 114266. HYPERLINK \*HTTPS://LEGINFO.LEGISLATURE.CA.GOV/FACES/CODES\_DISPLAYE CTION.XHTML?LAWCODE=HSC&SECTIONNUM=114266\*CALIFORNIA RETAIL FOOD CODE, SECTION 114266. HYPERLINK \*HTTPS://LEGINFO.LEGISLATURE.CA.GOV/FACES/CODES\_DISPLAYE CTION.XHTML?LAWCODE=HSC&SECTIONNUM=114266\*CALIFORNIA RETAIL FOOD CODE, SECTION 114266. HYPERLINK \*HTTPS://LEGINFO.LEGISLATURE.CA.GOV/FACES/CODES\_DISPLAYE CTION.XHTML?LAWCODE=HSC&SECTIONNUM=114266\*CALIFORNIA RETAIL FOOD CODE, SECTION 114266. HYPERLINK \*HTTPS://LEGINFO.LEGISLATURE.CA.GOV/FACES/CODES\_DISPLAYE CTION.XHTML?LAWCODE=HSC&SECTIONNUM=114266\*CALIFORNIA RETAIL FOOD CODE, SECTION 114266.

WALLS & CEILING

1. THE WALLS AND CEILING OF ALL ROOMS SHALL BE OF A DURABLE, SMOOTH, NON-ABSORBENT, EASILY CLEANABLE SURFACE EXCEPT IN THE FOLLOWING AREAS: (A) BAR AREAS IN WHICH ONLY ALCOHOLIC BEVERAGES ARE SOLD OR SERVED DIRECTLY TO THE CONSUMERS, EXCEPT WALL AREAS ADJACENT TO BAR SINKS AND AREAS WHERE FOOD IS PREPARED; (B) AREAS WHERE FOOD IS STORED ONLY IN UNOPENED BOTTLES, CANS, CARTONS, SACKS, OR OTHER ORIGINAL SHIPPING CONTAINERS; (C) DINING AND SALES AREAS; (D) OFFICES; (E) RESTROOMS USED EXCLUSIVELY BY THE CONSUMERS, EXCEPT THAT THE WALLS AND CEILING SHALL BE OF A NONABSORBENT AND WASHABLE SURFACE. ACCEPTABLE MATERIALS ARE GLOSS OR SEMI-GLOSS ENAMEL PAINT, EPOXY PAINT, FRP (FIBERGLASS REINFORCED PANEL), STAINLESS STEEL, CERAMIC TILE OR OTHER APPROVED MATERIALS AND FINISHES. ACOUSTICAL CEILING TILE MAY BE USED IF IT IS INSTALLED NOT LESS THAN SIX FEET ABOVE THE FLOOR. BRICK, CONCRETE BLOCK, ROUGH CONCRETE, ROUGH PLASTER OR TEXTURED GYPSUM BOARDS ARE NOT ACCEPTABLE. WALLS AND CEILING OF FOOD PREPARATION AREAS, RESTROOMS, JANITORIAL AREAS, WAREWASHING AREAS, AND INTERIOR SURFACES OF WALK-IN REFRIGERATION UNITS ARE RECOMMENDED TO BE LIGHT COLORED.

COUNTERS

1. WHERE PROVIDED, AT LEAST ONE OF EACH TYPE OF SALES COUNTER AND SERVICE COUNTER SHALL COMPLY WITH SECTION 11B-904.4. WHERE COUNTERS ARE DISPersed THROUGHOUT THE BUILDING OR FACILITY, COUNTERS COMPLYING WITH SECTION 11B-904.4 ALSO SHALL BE DISPersed.

DOORS

1. ALL DELIVERY DOORS LEADING TO THE OUTSIDE SHALL BE SELF-CLOSING, OVERHEAD, AUTOMATIC SWITCH-ACTIVATED AIR CURTAINS MUST BE PROVIDED AT DELIVERY DOORS. THE AIR CURTAIN WILL PRODUCE AN AIR FLOW EIGHT (8) INCHES THICK AT THE DISCHARGE OPENING AND WITH AN AIR VELOCITY OF NOT LESS THAN 1600 FPM (FEET PER MINUTE) ACROSS THE ENTIRE OPENING MEASURED AT A POINT THREE (3) FEET BELOW THE AIR CURTAIN. FOOD FACILITIES THAT SELL ONLY PRE-PACKAGED FOOD ARE EXEMPT FROM THIS REQUIREMENT. LARGE CARGO-TYPE DOORS SHALL NOT OPEN DIRECTLY INTO A FOOD PREPARATION OR UTENSIL WASHING AREA. 2. ALL EXTERIOR DOORS LEADING TO THE OUTSIDE SHALL BE SELF-CLOSING, TIGHT-FITTING AND VERMIN PROOF. AIR CURTAINS MAY BE USED AS AUXILIARY FLY CONTROL BUT ARE NOT ADEQUATE SUBSTITUTE DEVICES TO PERMIT A DOOR TO REMAIN OPEN. A DOOR SYSTEM SUCH AS NANO DOORS, BI-FOLD DOORS, AND MANUAL SLIDING DOORS SHALL NOT REPLACE A PERMANENT EXTERIOR WALL.

TOILET FACILITIES

1. EACH PERMANENT FOOD FACILITY SHALL BE PROVIDED WITH CLEAN TOILET ROOMS, IN GOOD REPAIR FOR THE USE BY EMPLOYEES. THE NUMBER OF TOILET AND HANDICAPPED FACILITIES REQUIRED SHALL BE IN ACCORDANCE WITH LOCAL BUILDING AND PLUMBING ORDINANCES. TOILET ROOMS SHALL BE SEPARATED FROM OTHER PORTIONS OF THE FOOD FACILITY BY WELL-FITTED, SELF-CLOSING DOORS. TOILET TISSUE SHALL BE PROVIDED IN A PERMANENTLY INSTALLED DISPENSER AT EACH TOILET. 2. TOILET FACILITIES (AT LEAST ONE SEPARATE TOILET FACILITY FOR MEN AND ONE SEPARATE TOILET FACILITY FOR WOMEN) IN GOOD REPAIR SHALL BE PROVIDED FOR CONSUMERS, GUESTS, OR INVITEES, WHEN THE FOOD FACILITY WAS CONSTRUCTED AFTER JULY 1, 1984, AND HAS MORE THAN 20,000 SQUARE FEET OF FLOOR SPACE. 3. FOR ANY BUILDING THAT IS CONSTRUCTED AFTER JANUARY 1, 2004, THAT PROVIDES SPACE FOR THE CONSUMPTION OF FOOD ON THE PREMISES SHALL PROVIDE CLEAN TOILET FACILITIES IN GOOD REPAIR FOR CONSUMERS, GUESTS OR INVITEES. THESE FACILITIES SHALL BE LOCATED WHERE CONSUMERS, GUESTS, AND INVITEES DO NOT PASS THROUGH FOOD PREPARATION, FOOD STORAGE, OR UTENSIL WASHING AREAS TO REACH THE TOILET FACILITIES.

HANDWASHING SINK

1. FOOD FACILITIES CONSTRUCTED OR EXTENSIVELY REMODELED AFTER JANUARY 1, 1998, THAT HANDLE NON-PREPACKAGED FOOD, SHALL PROVIDE FACILITIES EXCLUSIVELY FOR HANDWASHING IN THE FOOD PREPARATION AREAS AND IN WAREWASHING AREAS THAT ARE NOT LOCATED WITHIN OR IMMEDIATELY ADJACENT TO FOOD PREPARATION AREAS. HANDWASHING FACILITIES SHALL BE SUFFICIENT IN NUMBER AND CONVENIENTLY LOCATED, MAINTAINED CLEAN, UNOBSTRUCTED AND ACCESSIBLE AT ALL TIMES FOR USE BY FOOD EMPLOYEES. HANDWASHING SINKS SHALL HAVE WATER PROVIDED FROM A COMBINATION OR PREMIXING FAUCET WHICH SUPPLIES WARM WATER (AT LEAST 100°FAHRENHEIT) FOR A MINIMUM OF FIFTEEN (15) SECONDS WHILE BOTH HANDS ARE FREE FOR WASHING. AUTOMATIC FAUCETS AT HANDWASHING SINKS SHALL BE PRE-SET AT 100-108°FAHRENHEIT. HANDWASHING FACILITIES SHALL BE PROVIDED WITH HANDWASHING CLEANSER AND SANITARY SINGLE-USE TOWELS. HYPERLINK \*HTTPS://LEGINFO.LEGISLATURE.CA.GOV/FACES/CODES\_DISPLAYE CTION.XHTML?LAWCODE=HSC&SECTIONNUM=113953\*CALIFORNIA RETAIL FOOD CODE, SECTION 113953.

FOOD PREPARATION SINK

1. FOOD FACILITIES ARE REQUIRED TO HAVE A SEPARATE SINK FOR WHEN THEY ARE ENGAGED IN ACTIVITIES SUCH AS WASHING, RINSING, SOAKING, THAWING, OR SIMILAR PREPARATION OF FOODS, AND SHALL BE LOCATED WITHIN THE FOOD PREPARATION AREA. THE SINK SHALL HAVE AN INTEGRAL DRAIN BOARD, AND HAVE MINIMUM TUB DIMENSIONS OF 18" X 18" BY 12" DEEP. AN ADJACENT WORK TABLE OF SIMILAR DIMENSIONS MAY BE SUBSTITUTED FOR THE DRAIN BOARD. A FOOD PREPARATION SINK MUST DRAIN INDIRECTLY THROUGH AN AIR GAP INTO A FLOOR SINK AND MUST BE FREE STANDING (NOT INSTALLED IN CABINETS). HYPERLINK \*HTTPS://LEGINFO.LEGISLATURE.CA.GOV/FACES/CODES\_DISPLAYE CTION.XHTML?LAWCODE=HSC&SECTIONNUM=114163\*CALIFORNIA RETAIL FOOD CODE, SECTION 114163.

GENERAL NOTES - CONDITIONAL USE PERMIT (CITY OF COVINA POLICE DEPARTMENT)

1. PRIOR TO OFFERING ANY ENTERTAINMENT, LIVE OR NON-LIVE, AN ENTERTAINMENT PERMIT MUST BE OBTAINED THROUGH THE POLICE DEPARTMENT. THE ESTABLISHMENT SHALL COMPLY WITH THE COVINA POLICE DEPARTMENT IN ITS ENTERTAINMENT PERMIT PROCESS, SPECIFICALLY AS IT RELATES TO ANY TYPE OF LIVE OR NON-LIVE ENTERTAINMENT TAKING PLACE. 2. ADDITIONAL SECURITY SHALL BE REQUIRED FOR ANY ENTERTAINMENT ACTIVITIES. THE LEVEL OF ADDITIONAL SECURITY SHALL BE SUBJECTED TO POLICE DEPARTMENT REVIEW AND APPROVAL PRIOR TO COMMENCING ANY ENTERTAINMENT. 3. SECURITY SHALL BE PRESENT WHEN ENTERTAINMENT IS TAKING PLACE. SECURITY SHALL HAVE A PRIVATE PATROL OPERATOR'S PERMIT (PPO) OBTAINED THROUGH THE POLICE DEPARTMENT IN ADDITION TO OBTAINING A COVINA BUSINESS LICENSE, PRIOR TO COMMENCING WORK. WHEN APPLICABLE, THE OWNER OR OPERATOR SHALL CONTRACT WITH A SECURITY COMPANY FOR SECURITY PERSONNEL OR HIRE SECURITY PERSONNEL AS EMPLOYEES.

15. THE OWNERS, OPERATORS, OR MANAGERS SHALL, SUBJECT TO APPROVAL OF THE POLICE DEPARTMENT, DEVELOP A PLAN TO MONITOR THE AREA SURROUNDING THE LOCATION FOR TRASH AND OTHER DISCARDED ITEMS THAT IMPACT PUBLIC HEALTH AND TO MAINTAIN THE CLEANLINESS OF THE PARKING LOTS, SIDEWALKS, AND THE PROPERTY OF ADJACENT BUSINESS OWNERS. 16. THE OWNERS, OPERATORS, OR MANAGERS SHALL, SUBJECT TO APPROVAL OF THE POLICE DEPARTMENT, DEVELOP A PLAN TO ENSURE THAT ALL EXTERIOR LOCATIONS ARE ADEQUATELY AND SAFELY ILLUMINATED DURING HOURS OF DARKNESS. 17. THE OWNERS, OPERATORS, OR MANAGERS SHALL ENSURE THAT ALL OCCUPANCY LEVELS MANDATED BY THE LOS ANGELES COUNTY FIRE DEPARTMENT AND THE COVINA BUILDING DIVISION ARE STRICTLY ENFORCED AND ADHERED TO. AT ANY TIME THAT THE OCCUPANCY IS IN QUESTION, THE POLICE DEPARTMENT WATCH COMMANDER CAN CONTACT THE LOS ANGELES COUNTY FIRE DEPARTMENT AND/OR THE COVINA BUILDING DIVISION IN ORDER TO DETERMINE IF THE OCCUPANCY LEVEL IS OVER THE ALLOWED NUMBER OF OCCUPANTS. 18. THE OWNERS, OPERATORS, OR MANAGERS MUST COMPLY WITH ALL CITY CODES AND ORDINANCES RELATING TO POLICE RESPONSE AND ABATEMENT NUISANCE CONDITIONS. 19. ALL LANDSCAPING SHOULD FOLLOW THE TWO-FOOT SIX-FOOT RULE. ALL LANDSCAPING SHOULD BE GROUND COVER, TWO FEET OR LESS AND LOWER TREE CANOPIES SHOULD BE AT SIX FEET. THIS INCREASES NATURAL SURVEILLANCE AND ELIMINATES HIDING AREAS WITHIN LANDSCAPING. TREE CANOPIES SHOULD NOT INTERFERE WITH OR BLOCK THE LIGHTING ALONG SIDEWALKS OR PARKING LOTS. THIS CREATES SHADOWS AND AREAS OF CONCEALMENT. PLANTERS WILL USE PLANT SPECIES WITH LIMITED GROWTH. THIS IS TO ENSURE THAT MAINTENANCE DOES NOT BECOME AN ISSUE AND SURVEILLANCE FROM THE BUILDING IS MAINTAINED. 20. ROLLING DRIVEWAY GATES, AND ANY PEDESTRIAN GATE, SHALL HAVE A KEYPAD INSTALLED WITH CURRENT ACCESS CODE PROVIDED TO POLICE DISPATCH AT (626) 384-5808.

A. IF THE OWNER OR OPERATOR CHOOSES TO HIRE A SECURITY COMPANY, THE SECURITY COMPANY MUST BE LICENSED TO OPERATE IN BOTH THE STATE OF CALIFORNIA AND THE CITY OF COVINA. ADDITIONALLY, ALL EMPLOYEES WHO ARE ASSIGNED TO WORK THE PREMISES MUST BE LICENSED BY THE STATE OF CALIFORNIA AS SECURITY GUARDS AND BE IN GOOD STANDING THROUGHOUT THEIR TIME OF EMPLOYMENT. B. IN THE EVENT THE OWNER OR OPERATOR OR MANAGER PROVIDE THEIR OWN SECURITY PERSONNEL, ALL PERSONNEL MUST BE EMPLOYED ONLY AS SECURITY PERSONNEL AND NOT HAVE OTHER RESPONSIBILITIES WHILE ACTING IN THAT CAPACITY. ADDITIONALLY, ALL EMPLOYEES ACTING AS SECURITY PERSONNEL MUST BE LICENSED AND IN GOOD STANDING WITH THE STATE OF CALIFORNIA THROUGH THEIR TIME OF EMPLOYMENT.

5. THE POLICE DEPARTMENT MAY, AFTER MEETING WITH OWNERS OR MANAGERS OF THE ESTABLISHMENT, INCREASE THE NUMBER OF REQUIRED SECURITY PERSONNEL OR PLANNED EVENTS OR INCIDENTS WHERE THE POLICE DEPARTMENT DETERMINES THAT THE NUMBER OF ON-DUTY SECURITY PERSONNEL IS DEFICIENT.

6. AT NO TIME WILL ANY SECURITY PERSONNEL, WHETHER EMPLOYED BY A PRIVATE COMPANY OR LICENSED BY THE CITY OR EMPLOYED BY THE ESTABLISHMENT, BE ARMED WITH ANY TYPE OF FIREARM.

7. THE OWNERS, OPERATORS, MANAGERS AND ALL EMPLOYEES SHALL ADHERE TO AND OBEY ALL STATE LAWS AND CITY ORDINANCES RELATING TO THE SERVICE, CONSUMPTION AND POSSESSION OF ALCOHOLIC BEVERAGES. ANY VIOLATIONS OF STATE LAWS OR CITY ORDINANCE WILL BE PRESENTED TO THE DISTRICT ATTORNEY'S OFFICE FOR PROSECUTION AND WILL BE GROUNDS FOR REVOCATION OR MODIFICATION OF THIS PERMIT.

8. NO ALCOHOLIC BEVERAGES OR THEIR CONTAINERS, SUCH AS BOTTLES AND GLASSES, WILL BE PRESENT OTHER THAN IN THE STORAGE AREA AFTER 2:00 A.M. EVERY DAY.

9. ONLY ON-DUTY EMPLOYEES WILL BE ALLOWED INSIDE THE ESTABLISHMENT DURING NON-OPERATING HOURS.

10. THE OWNERS OR OPERATORS WILL BE RESPONSIBLE FOR ENSURING THEY ARE IN COMPLIANCE WITH THE RESTRICTIONS, PROVISIONS AND GUIDELINES OF THEIR LICENSE FROM THE STATE OF CALIFORNIA ALCOHOLIC BEVERAGE CONTROL (ABC) BOARD, AND INCLUDING IF REQUIRED, THE RATIO OF ALCOHOLIC BEVERAGE SALES TO FOOD SALES.

11. THE PERMITTEE AND THE OPERATOR OF ANY BUSINESS AT THE PREMISES SHALL INSTALL, USE, AND MAINTAIN IN GOOD WORKING CONDITION A VIDEO SECURITY SYSTEM CAPABLE OF VIEWING AND RECORDING EVENTS AT THE PREMISES AS APPROVED BY THE CHIEF OF POLICE. THE VIDEO SECURITY SYSTEM SHALL BE ON AND OPERATING AT ALL TIMES BY COMMON AREAS, DEVELOPMENT ENTRANCES AND EXITS, AND PARKING AREAS. THE VIDEO SECURITY SYSTEM SHALL BE OF SUCH TO PROVIDE IMAGES OF SUCH A RESOLUTION AS TO CLEARLY IDENTIFY INDIVIDUALS FOR LATER IDENTIFICATION. SECURITY SYSTEMS COULD DETER AND PREVENT PUBLIC NUISANCES. INSTALLATION AND APPROVAL SHALL OCCUR PRIOR TO THE RELEASE OF THE OCCUPANCY OR APPROVAL OF BUSINESS LICENSE.

12. THE PERMITTEE AND THE OPERATOR OF ANY BUSINESS AT THE PREMISES SHALL ENSURE THAT AT LEAST ONE EMPLOYEE OR OTHER PERSON IS PRESENT ON THE PREMISES DURING NORMAL BUSINESS HOURS WITH THE NECESSARY KNOWLEDGE AND SKILL TO OPERATE THE VIDEO SECURITY SYSTEM SO THAT HE OR SHE IS ABLE TO PROVIDE THE COVINA POLICE DEPARTMENT COPIES OF VIDEO RECORDINGS IMMEDIATELY UPON REQUEST.

13. THE PERMITTEE AND THE OPERATOR OF ANY BUSINESS AT THE PREMISES SHALL PRESERVE THE VIDEO SECURITY SYSTEM'S RECORDED INFORMATION OF EACH BUSINESS DAY FOR A PERIOD OF NOT LESS THAN THIRTY (30) BUSINESS DAYS THEREAFTER FOR THE COVINA POLICE DEPARTMENT'S REVIEW IN CONNECTION WITH A CRIMINAL OR OTHER INVESTIGATION.

14. THE OWNERS, OPERATORS, MANAGEMENT STAFF, AND EMPLOYEES SHALL ALLOW FOR THE INSPECTION OF THE PREMISES BY MEMBERS OF THE COVINA POLICE DEPARTMENT AT ANY TIME WHEN THERE ARE EMPLOYEES PRESENT INSIDE THE LOCATION.

PREPARED FOR



BUILDING TENANT: ALLEN ACEVES CHISMOSA CAFE 132 E COLLEGE ST COVINA, CA 91723

BUILDING OWNER: DR. DIMITRIS CONSTANTINO EASY GROUP LLC 128 E COLLEGE ST COVINA, CA 91723

PROJECT ARCHITECT



COREY LOREN POPE DBA LOREN DESIGN 514 W 5TH STREET SAN DIMAS, CA 91773

ARCHITECT STAMP

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Table with 3 columns: no., date, printed / revised. Row 1: 12.13.23, CUP/PLANNING SUBMISSION. Row 2: 04.01.24, CUP/PLANNING SUBMISSION. Row 3: 06.28.24, CUP/PLANNING SUBMISSION.

project status

CONDITIONAL USE PERMIT (CUP) PLANNING PACKAGE DATE: 06/28/2024

PROJECT:

CHISMOSA CAFE-TI

PROJECT NO: 2202.30

REF:

DATE: 06/01/24

SHEET TITLE:

PROJECT GENERAL NOTES-CONDITIONAL USE PERMIT NOTES

SHEET NUMBER:

1.G002







- Features**
- Custom built to specifications (allow 3-4 weeks lead time for special order)
  - Transparent polycarbonate globes are shatterproof, weatherproof, and resistant to vibrations
  - Rubber cable with injection molded nylon sockets supports spans up to 15 feet (use catenary cable for spans greater than 15 feet)
  - cULus Listed
  - Suitable for wet locations (IP68)

**Festoon Light String**  
 Made to your specifications with watertight, shock resistant modules in 12V 3000K LED. When ordering, specify lead wire and tail wire lengths; globe color (Clear is standard); and socket type and spacing. For span distances greater than 15 feet, utilize catenary cable (sold separately). For horizontal mount to a wall or for vertical mount to shine upwards from a ledge, use LFS-CABLE-CLIP.

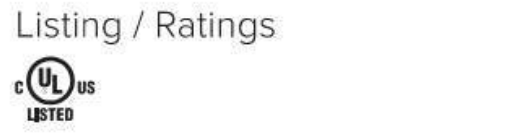
**Technical Information**

Series	LFS
Input Voltage	12V DC
CCT	3000K
CRI	74+
Wattage	1W per Globe
Lumens	Up to 90lm per ft
Max Run	300W
Cuttable	N/A
IP Rating	IP68
Dimmable	Not dimmable
Rating	cULus Listed for wet locations
Rated Life	80,000 hrs



**Dimming Options**

- Non-Dimmable



**Festoon Light String**



**FESTOON LIGHT STRING ORDERING INFORMATION** Special order - Please Allow Up To 2-4 Weeks Order Processing & Delivery\*

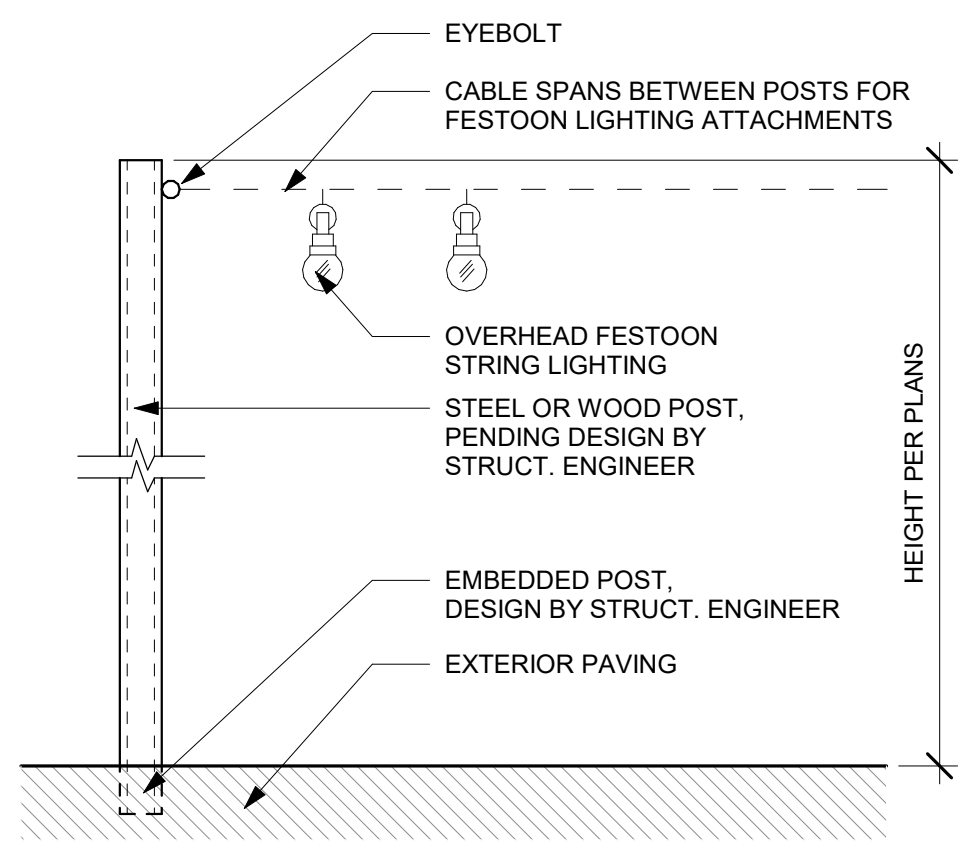
ITEM NUMBER	CCT	LENGTH	LUMENS / FT	WATTAGE / GLOBE	IP RATING	CRI	CUTTING
LFS-12V-LED-WW	3000K	Custom	Up to 90lm / ft	1W / globe	IP68	74+	N/A

When ordering Festoon Light String, be sure to specify socket spacing and total cable length (including lead and tail wire requirements). Designate the type of socket assembly to be factory-assembled on to stranded, tinned copper conductors in heavy-duty rubber cable. Festoon Light String is SPECIAL ORDER only, please allow 2-4 weeks for order processing. Request a sales quote online at <http://www.americanlighting.com/festoon-quote.html>.

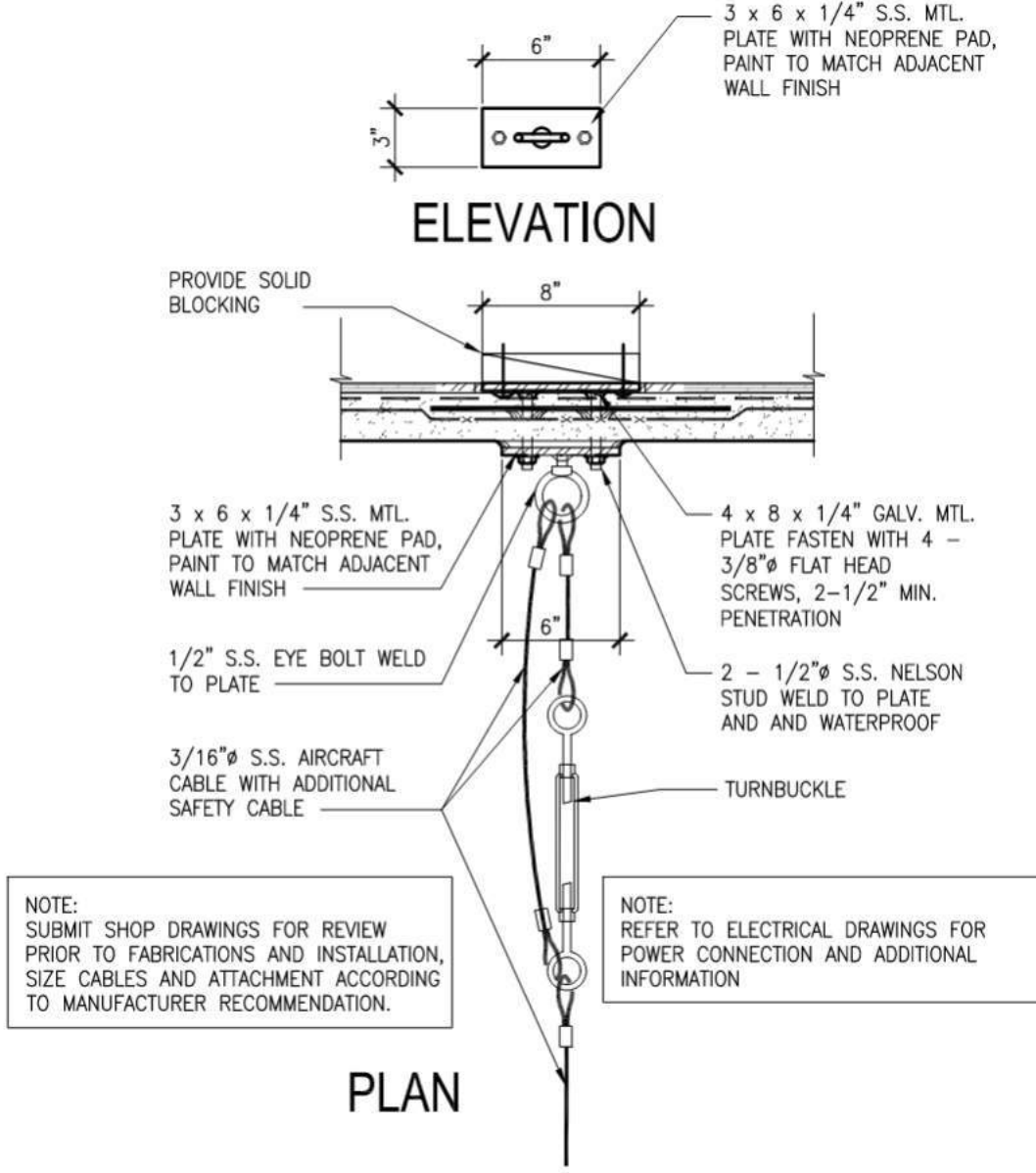
**FESTOON LIGHT STRING ACCESSORIES**

ITEM NUMBER	DESCRIPTION
LFS-CABLE	12 gauge Festoon cable
LFS-BP	Mounting back-plate
LFS-CABLE-CLIP	Cable clips (qty 100)
LFS-GLOBE-CL	Clear Festoon Globe
LFS-GLOBE-BL	Blue Festoon Globe
LFS-GLOBE-PI	Pink Festoon Globe
LFS-GLOBE-PU	Purple Festoon Globe
LFS-GLOBE-RE	Red Festoon Globe
LFS-GLOBE-YE	Yellow Festoon Globe

**Recommended Power Supplies**



**POLE ATTACHED**



**WALL ATTACHED**



**DOWNTOWN COVINA - PRECEDENT**



**BUILDING TENANT:**  
 ALLEN ACEVES  
 CHISMOSA CAFE  
 132 E COLLEGE ST  
 COVINA, CA 91723

**BUILDING OWNER:**  
 DR. DIMITRIS CONSTANTINOU  
 EASY GROUP LLC  
 128 E COLLEGE ST  
 COVINA, CA 91723

PROJECT ARCHITECT



COREY LOREN POPE  
 DBA LOREN DESIGN  
 514 W 5TH STREET  
 SAN DIMAS, CA 91773

ARCHITECT STAMP

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12.13.23	CUP/PLANNING SUBMISSION	
04.01.24	CUP/PLANNING SUBMISSION	
06.28.24	CUP/PLANNING SUBMISSION	

project status

**CONDITIONAL USE PERMIT (CUP) PLANNING PACKAGE**  
**DATE: 06/28/2024**

PROJECT:  
 CHISMOSA CAFE-TI  
 PROJECT NO: 2202.30  
 REF:  
 DATE: 06/23/24  
 SHEET TITLE:  
 BASIS OF DESIGN - EXTERIOR LIGHTING

SHEET NUMBER:  
**1.G003**

① FESTOON LIGHTING ATTACHMENT-BOD  
 1 1/2" = 1'-0"





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ALLEN ACEVES  
CHISMOSA CAFE  
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COVINA, CA 91723

**BUILDING OWNER:**  
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PROJECT ARCHITECT



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06.28.24		CUP/PLANNING SUBMISSION

project status

**CONDITIONAL USE PERMIT (CUP) PLANNING PACKAGE**  
**DATE: 06/28/2024**

PROJECT:  
CHISMOSA CAFE-TI  
PROJECT NO: 2202.30  
REF:  
DATE: 03/24/24  
SHEET TITLE:  
EXISTING REAR SITE PLAN

SHEET NUMBER:

**1.A100**

**EXISTING SITE PLAN GENERAL NOTES:**

1. THE EXISTING SITE PLAN GENERALLY DEPICTS EXISTING SITE FEATURES INCLUDING EXISTING PARKING SPACE, ZONE FOR TRASH ENCLOSURE ZONES, SITE FENCES AND GATES. REFER TO PROPOSED EXTERIOR IMPROVEMENT PLANS FOR PHASES 1 AND 2 SCOPE. ALL NEW SCOPE TO BE FIELD VERIFIED FOR ACCURACY PRIOR TO PLACEMENT OF NEW WORK.
2. REFER TO PARKING ANALYSIS CALCULATIONS AND PLAN FOR PROPOSED RELOCATION OF EXISTING ON SITE PARKING AND RELOCATION TO DOWNTOWN PARKING GARAGE.
3. EXISTING DRIVE AISLE SERVING BUSINESS OCCUPANCY AT 128 E COLLEGE TO BE MAINTAINED CLEAR DURING NORMAL DAY BUSINESS HOURS.

**PARKING ANALYSIS CALCULATIONS:**

NOTE: PROJECT SITE FALLS WITHIN DOWNTOWN PARKING BOUNDARY. BASE CALCULATION FOR PARKING REQUIREMENTS PROVIDED PER TABLE 4-2 (COVINA TOWN CENTER SPECIFIC PLAN) FOR REFERENCE.

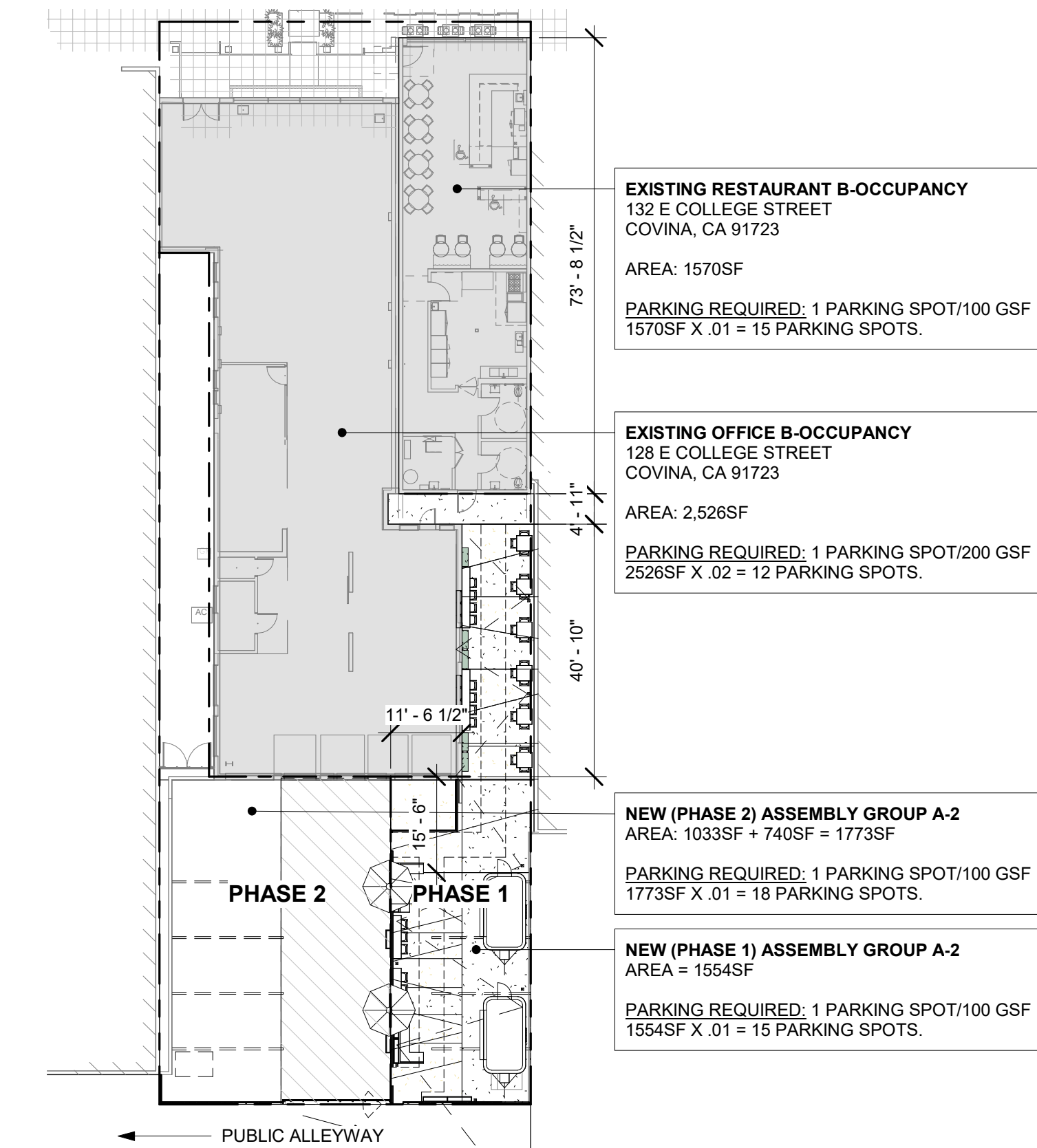
**EXISTING ON-SITE PARKING PROVIDED:** 6 STANDARD STALLS WITHIN SHARED REAR PAVED PARKING LOT (TO BE RELOCATED).

**BASE CALCULATION-REQUIRED PARKING PER TABLE 4-2: (SEE CALCULATION DIAGRAM)**

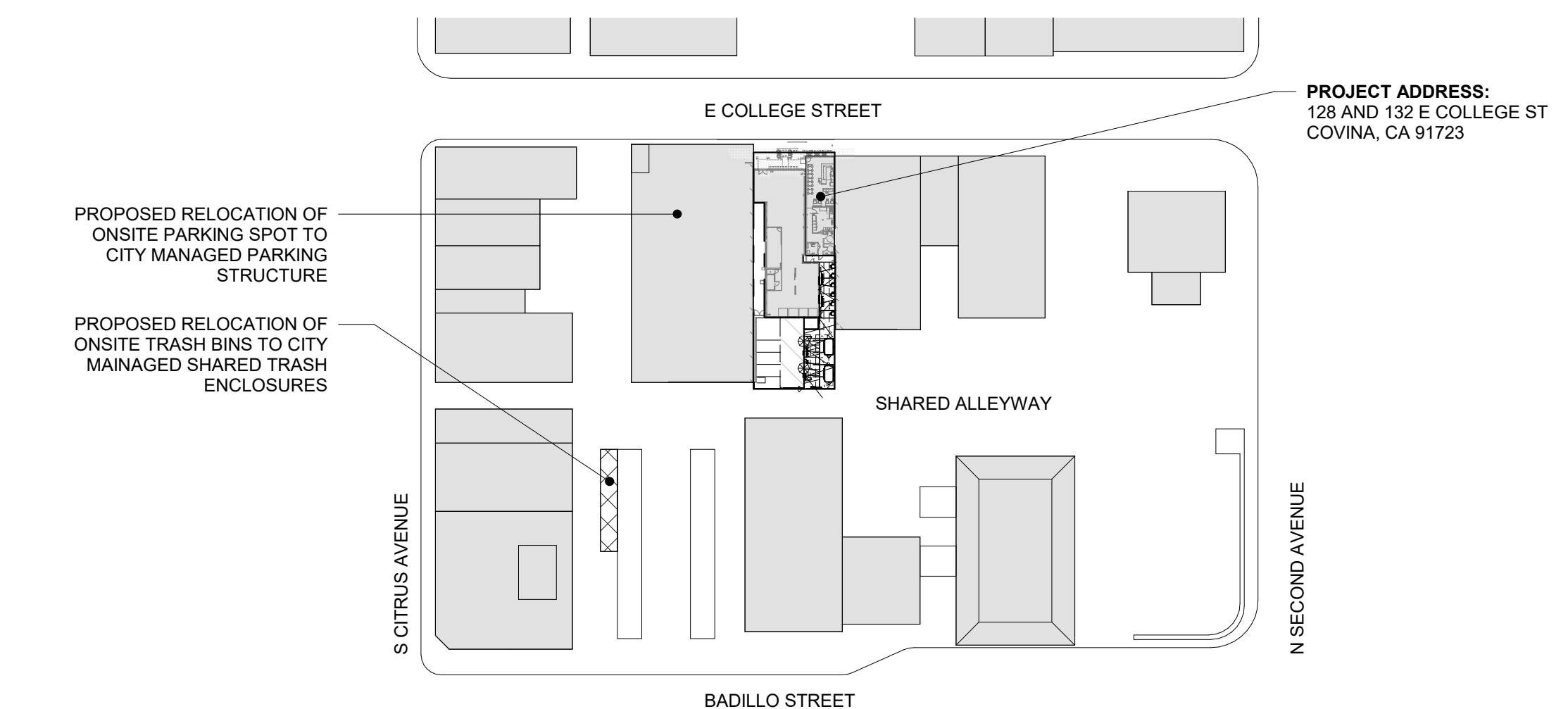
EXISTING BUILDING AREA:  
128 E COLLEGE STREET (COMMERCIAL, B-OCCUPANCY) : 12 STALLS  
132 E COLLEGE STREET (RESTAURANT, B-OCCUPANCY) : 15 STALLS

NEW EXTERIOR OCCUPANCY:  
PHASE 1 AREA: 15 STALLS  
PHASE 2 AREA: 18 STALLS

TABLE 4-2 BASE CALC TOTAL STALLS: 60 STALLS



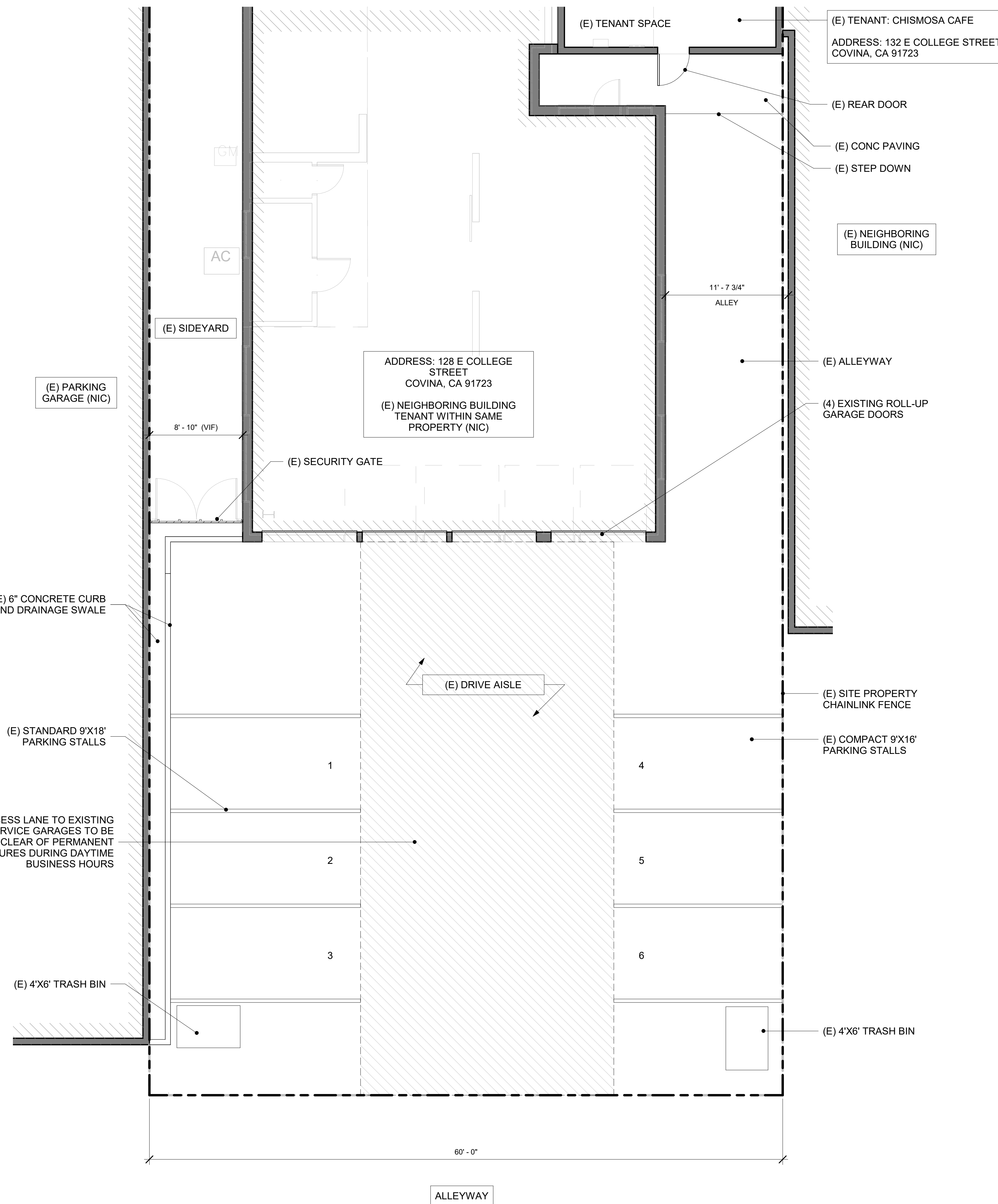
2 KEY PLAN-PARKING ANALYSIS  
3/64" = 1'-0"



3 KEY PLAN-LOCAL VICINITY MAP  
1" = 100'-0"

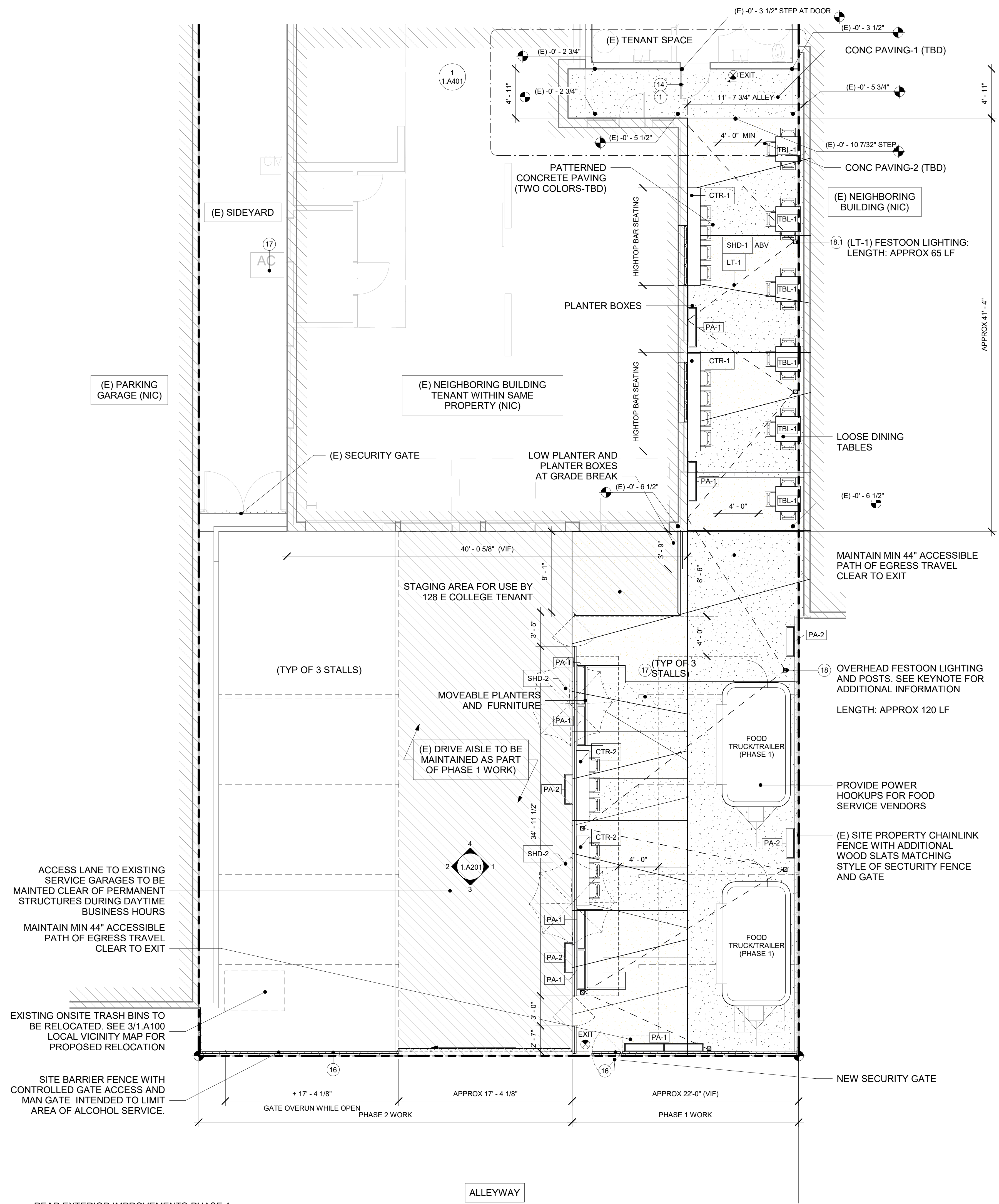
**WALL LEGEND - ADA IMPROVEMENTS**

- EXISTING WALL/PARTITION
- - - - - EXISTING WALL/BUILDING ELEMENTS TO BE DEMOLISHED
- NEW WALL- ADA IMPROVEMENT



1 REAR EXTERIOR-EXISTING SITE PLAN  
3/16" = 1'-0"





1 REAR EXTERIOR IMPROVEMENTS-PHASE 1  
3/16" = 1'-0"

**PROJECT SCOPE OF WORK**

APPLICATION FOR PLANNING, BUILDING AND HEALTH DEPARTMENT APPROVAL OF PROPOSED EXTERIOR PATIO.  
PROPOSED WORK INCLUDES 2 PHASES:

- PHASE 1:**
- 1.1. MODIFICATIONS TO EXISTING EXTERIOR DOOR TO IMPROVE PUBLIC ACCESSIBILITY TO INTERIOR TENANT SPACE.
  - 1.2. REPAIRING OF EXISTING EXTERIOR CONCRETE AT PROPOSED PATIO OCCUPANCY.
  - 1.3. NEW SECURITY FENCE AND GATE TO ALLOW FOR SALES OF ALCOHOLIC BEVERAGES.
  - 1.4. ADDITION OF LOOSE DINING FURNITURE FOR FOOD WITHIN EXTERIOR PATIO.
  - 1.5. ADDITION OF OVERHEAD SHADES AND FESTOON LIGHTING.
  - 1.6. SPACE ALLOCATED FOR POWER HOOKUPS OF FOOD SERVICE TRAILERS.
  - 1.7. REMOVAL OF ONSITE PARKING STALLS AND RELOCATION TO SHARED PARKING GARAGE.
  - 1.8. SHARED FACADE EASEMENT FOR ATTACHMENT OF OVERHEAD LIGHTING AND SHADES AT PROPOSED EXTERIOR PATIO.
  - 1.9. (CUP) APPROVAL OF PHASED IMPROVEMENTS WITHIN SHARED PARKING LOT TO INCLUDE SIMILAR FOOD VENDOR PROGRAM (UNDER PHASED PERMIT APPLICATION).

**EXTERIOR FURNITURE & FIXTURES SCHEDULE:**

- TABLE SETTINGS:**  
(TBL-1) TABLE 1: 30" SQUARE TABLE W/3 CHAIRS. PROVIDE ADA DESIGNATED TABLES
- BAR COUNTER SETTINGS:**  
(CTR-1) COUNTERTOP 1 : 9'-6" X 14" WALL MOUNTED AT ADA HEIGHT W/ 4 SEATS  
(CTR-2) COUNTERTOP 1 : 7'-0" X 14" FREE STANDING COUNTER W/ 3 STOOLS
- PLANTERS:**  
(PA-1) PLANTER 1: 48" PREFAB PLANTER BOX  
(PA-2) PLANTER 2: 36" PREFAB/CUSTOM SUSPENDED PLANTER BOX
- FESTOON LIGHTING:**  
(LT-1) OVERHEAD FESTOON LIGHTING: AMERICAN LIGHTING COMMERCIAL GRADE E17 (LED) OR SIMILAR
- SHADING:**  
(SHD-1) OVERHEAD FABRIC/CANVAS SHADES: SUNBRELLA EXTERIOR GRADE FABRICS OR SIMILAR  
(SHD-2) RELOCATEABLE UMBRELLA AND BASE STAND

**KEYNOTE LEGEND -BY SHEET**

NO.	KEYNOTE DESCRIPTION
1	PROVIDE ACCESSIBLE TRESHOLD, TILE TO CONCRETE. REFERENCE DETAIL 16/A902.
14	REQUIRED DOOR STRIKE CLEARANCE, PER 18/A902.CHANGES IN WALL SURFACE AT DOOR STRIKES MAY NOT EXCEED 8" IN DEPTH. SLOPE AT LANDING NOT TO EXCEED 1:48 (2%) AND IS TO DRAIN AWAY FROM OPENING AT EXTERIOR EXITS.
15	PHASE 1: FULL WIDTH OF EXISTING DRIVE AISLE TO REMAIN OPEN AND MAINTAINED CLEAR DURING DAILY BUSINESS HOURS. FENCE AND MAN GATE TO SERVE AS ACCESSIBLE MEANS OF EGRESS AND BARRIER DURING FOOD AND BEVERAGE SALES HOURS.
16	PHASE 1 AND 2: MAX 6'-0" TALL FENCE AND MAN GATE TO SERVE AS ACCESSIBLE MEANS OF EGRESS AND BARRIER DURING FOOD AND BEVERAGE SALES HOURS. GATE AND FENCE TO BE MIXED MATERIAL OF PAINTED STEEL STRUCTURAL WITH HORIZONTAL SIDING. PROVIDE KEYPAD ACCESS CONTROLS FOR SLIDING GATE, TO BE APPROVED BY CITY OF COVINA FIRE AND POLICE DEPARTMENT.
17	PHASE 1: EXISTING STANDARD PARKING STALL STRIPING TO BE REMOVED. REFER TO PARKING ANALYSIS TABLE FOR REMOVABLE OF ONSITE PARKING TO OFFSITE PARKING STRUCTURE.
18	
18.1	PHASE 1: OVERHEAD FESTOON LIGHTING AND POSTS. OVERHEAD FESTOON LIGHTING TO BE PROVIDED WITHIN ACCEPTABLE RANGE OF 5-20 FC. AND IN COMPLIANCE WITH CITY OF COVINA TOWN CENTER SPECIFIC PLAN LIGHTING STANDARDS, AND REQUIRED LIGHT LEVELS FOR EMERGENCY EXITING. SEE PLAN FOR APPROXIMATE LINEAR FOOTAGE OF LIGHTING STRANDS.

PREPARED FOR



**BUILDING TENANT:**  
ALLEN ACEVES  
CHISMOSA CAFE  
132 E COLLEGE ST  
COVINA, CA 91723

**BUILDING OWNER:**  
DR. DIMITRIS CONSTANTINO  
EASY GROUP LLC  
128 E COLLEGE ST  
COVINA, CA 91723

PROJECT ARCHITECT



COREY LOREN POPE  
DBA LOREN DESIGN  
514 W 5TH STREET  
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ARCHITECT STAMP

NOTE:  
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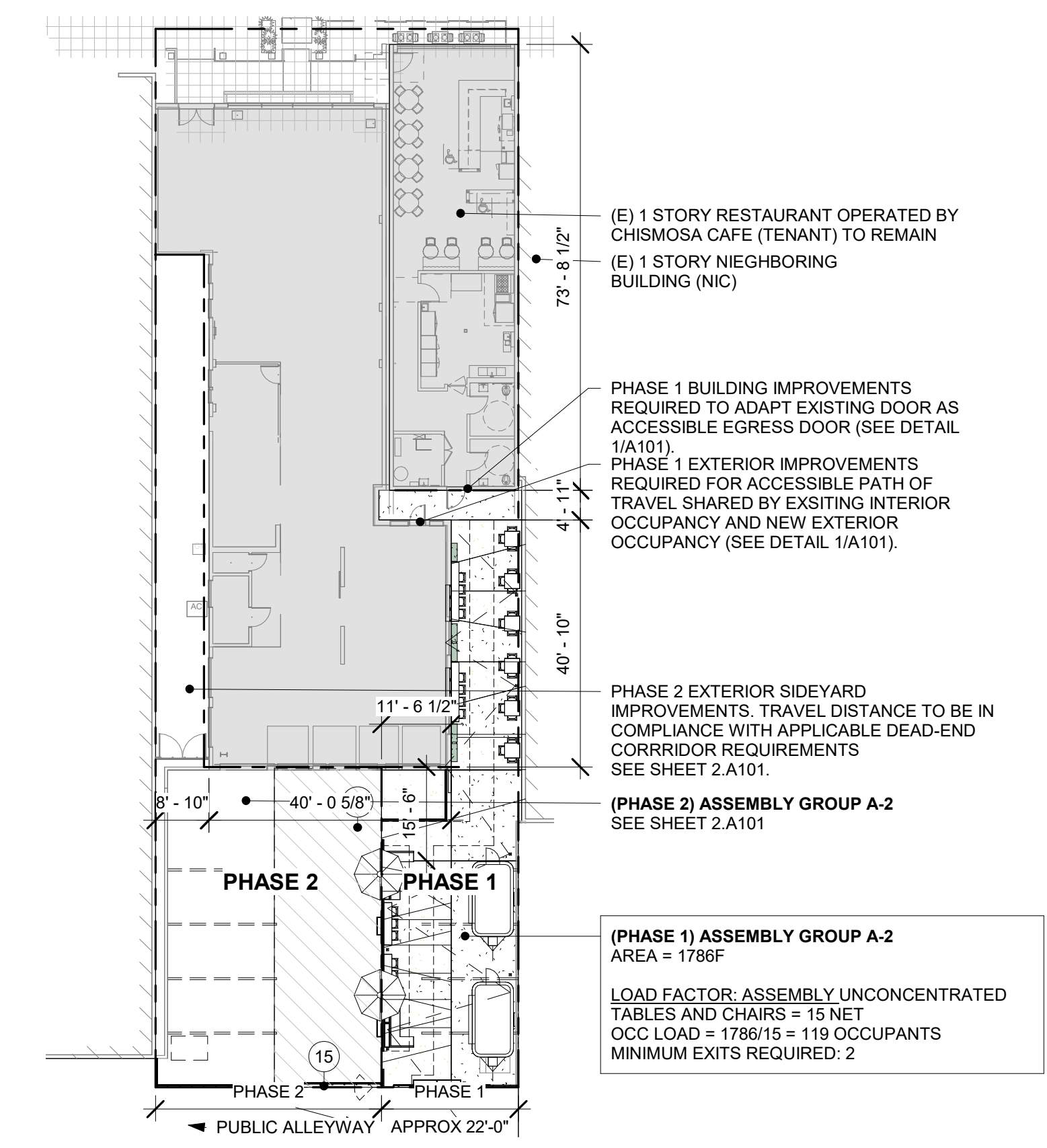
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12.13.23		CUP/PLANNING SUBMISSION
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06.28.24		CUP/PLANNING SUBMISSION

project status

**CONDITIONAL USE PERMIT (CUP) PLANNING PACKAGE**  
DATE: 06/28/2024

**PROJECT:**  
CHISMOSA CAFE-TI  
**PROJECT NO:** 2202.30  
**REF:**  
**DATE:** 12/13/2023  
**SHEET TITLE:**  
PHASE 1 - EXTERIOR TENANT IMPROVEMENT PLAN

**SHEET NUMBER:**  
**1.A101**

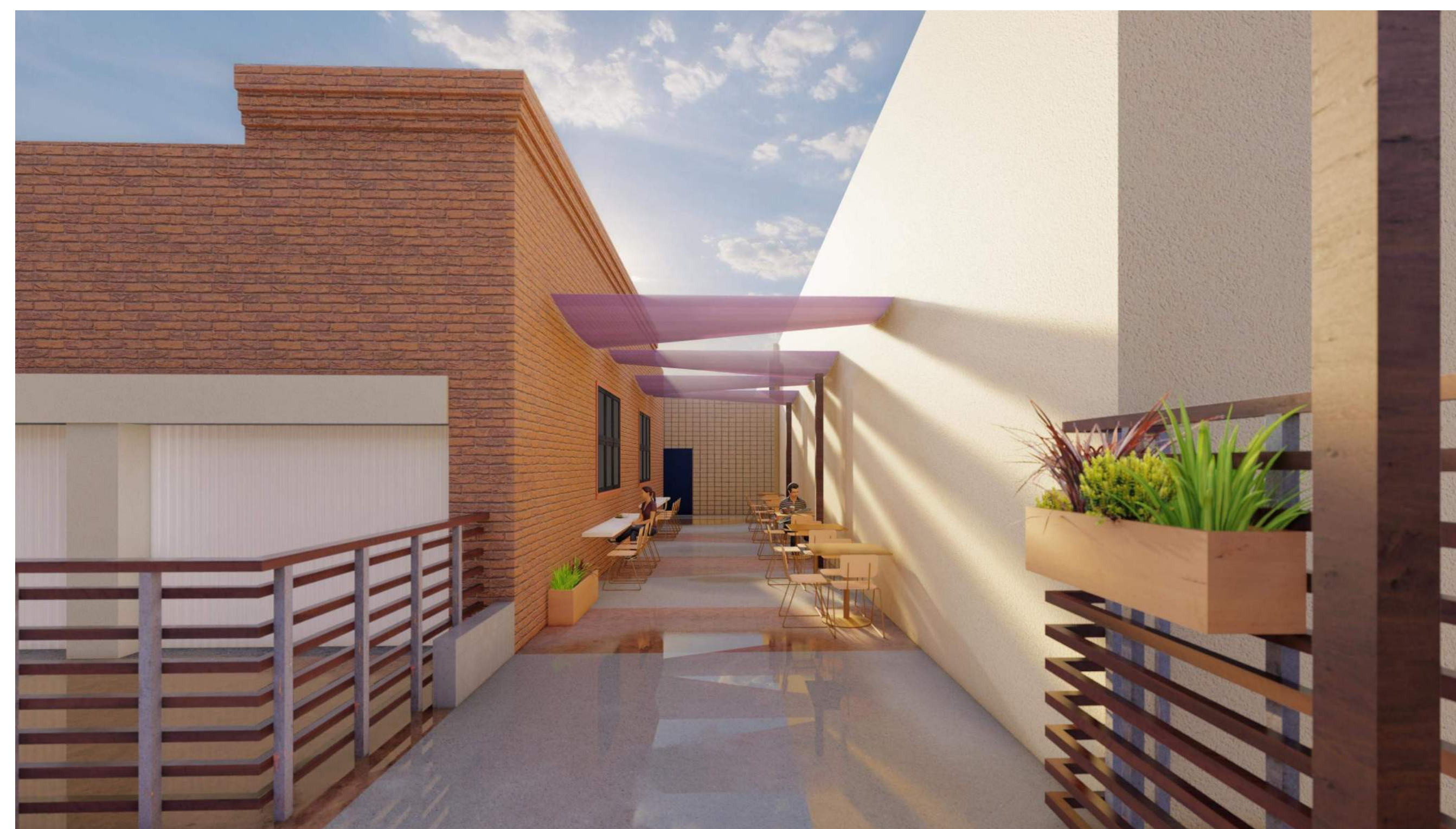


2 EXT IMPROVEMENTS-KEY PLAN PHASE 1  
3/64" = 1'-0"









PREPARED FOR



**BUILDING TENANT:**  
ALLEN ACEVES  
CHISMOSA CAFE  
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COVINA, CA 91723

**BUILDING OWNER:**  
DR. DIMITRIS CONSTANTINO  
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PROJECT ARCHITECT

**loren design**

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project status

**CONDITIONAL USE PERMIT (CUP) PLANNING PACKAGE**  
**DATE: 06/28/2024**

PROJECT:  
CHISMOSA CAFE-TI  
PROJECT NO: 2202.30  
REF:  
DATE: 12/13/23  
SHEET TITLE:  
PHASE 1-EXTERIOR RENDERINGS

SHEET NUMBER:  
**1.A202**





**BUILDING TENANT:**  
ALLEN ACEVES  
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132 E COLLEGE ST  
COVINA, CA 91723

**BUILDING OWNER:**  
DR. DIMITRIS CONSTANTINOU  
EASY GROUP LLC  
128 E COLLEGE ST  
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PROJECT ARCHITECT



COREY LOREN POPE  
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ARCHITECT STAMP

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06.28.24	CUP/PLANNING SUBMISSION	

project status

**CONDITIONAL USE PERMIT (CUP) PLANNING PACKAGE**  
**DATE: 06/28/2024**

PROJECT:  
CHISMOSA CAFE-T1  
PROJECT NO: 2202.30  
REF:  
DATE: 12/13/2023  
SHEET TITLE:  
EXISTING- ADA ENLARGED IMPROVEMENT PLAN

SHEET NUMBER:

**1.A401**

**KEYNOTE LEGEND -BY SHEET**

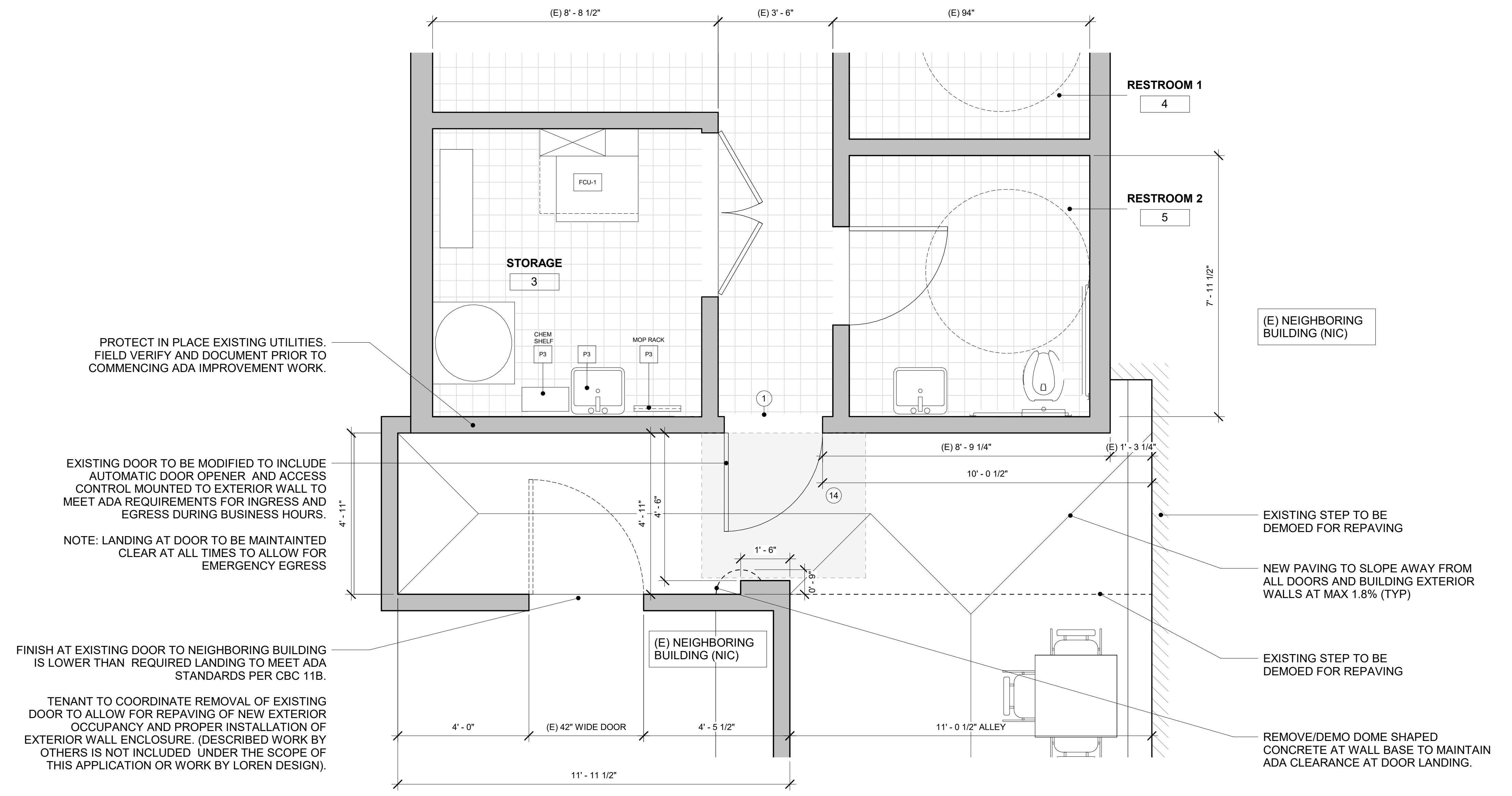
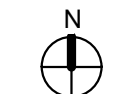
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14	REQUIRED DOOR STRIKE CLEARANCE, PER 18/A902.CHANGES IN WALL SURFACE AT DOOR STRIKES MAY NOT EXCEED 8" IN DEPTH. SLOPE AT LANDING NOT TO EXCEED 1:48 (2%) AND IS TO DRAIN AWAY FROM OPENING AT EXTERIOR EXITS.

**(E) PLUMBING FIXTURE AND KITCHEN EQUIP. SCHEDULE**

TYPE	PLUMBING FIXTURE/EQUIPMENT DESCRIPTION
EQ1	CONVECTION OVEN
EQ2	6 BURNER STOVE
EQ3	FRYER
EQ4	HOOD VENT AND DUCT, OVERHEAD
EQ5	FOOD PREP SINK
EQ6	3-COMPARTMENT SINK
EQ7	FRIDGE
EQ8	FRIDGE
EQ9	ICE MAKER
EQ10	HAND SINK
EQ11	REFRIGERATOR FOOD PREP TABLE
EQ12	HAND SINK
EQ13	UNDER COUNTER FRIDGE
EQ14	EMPLOYEE LOCKERS
EQ15	FRIDGE
EQ16	COFFEE MACHINE
EQ17	DRIP COFFEE
FCU-1	EXISTING FAN COIL UNIT
P1	EXISTING FLOOR SINK
P2	EXISTING FLOOR DRAIN
P3	MOP SINK EQUIPPED WITH BACKFLOW PREVENTION DEVICE, CHEMICAL SHELF AND MOP RACK.
P4	WATER HEATER

**WALL LEGEND - ADA IMPROVEMENTS**

	EXISTING WALL/PARTITION
	EXISTING WALL/BUILDING ELEMENTS TO BE DEMOLISHED
	NEW WALL- ADA IMPROVEMENT



PROTECT IN PLACE EXISTING UTILITIES. FIELD VERIFY AND DOCUMENT PRIOR TO COMMENCING ADA IMPROVEMENT WORK.

EXISTING DOOR TO BE MODIFIED TO INCLUDE AUTOMATIC DOOR OPENER AND ACCESS CONTROL MOUNTED TO EXTERIOR WALL TO MEET ADA REQUIREMENTS FOR INGRESS AND EGRESS DURING BUSINESS HOURS.

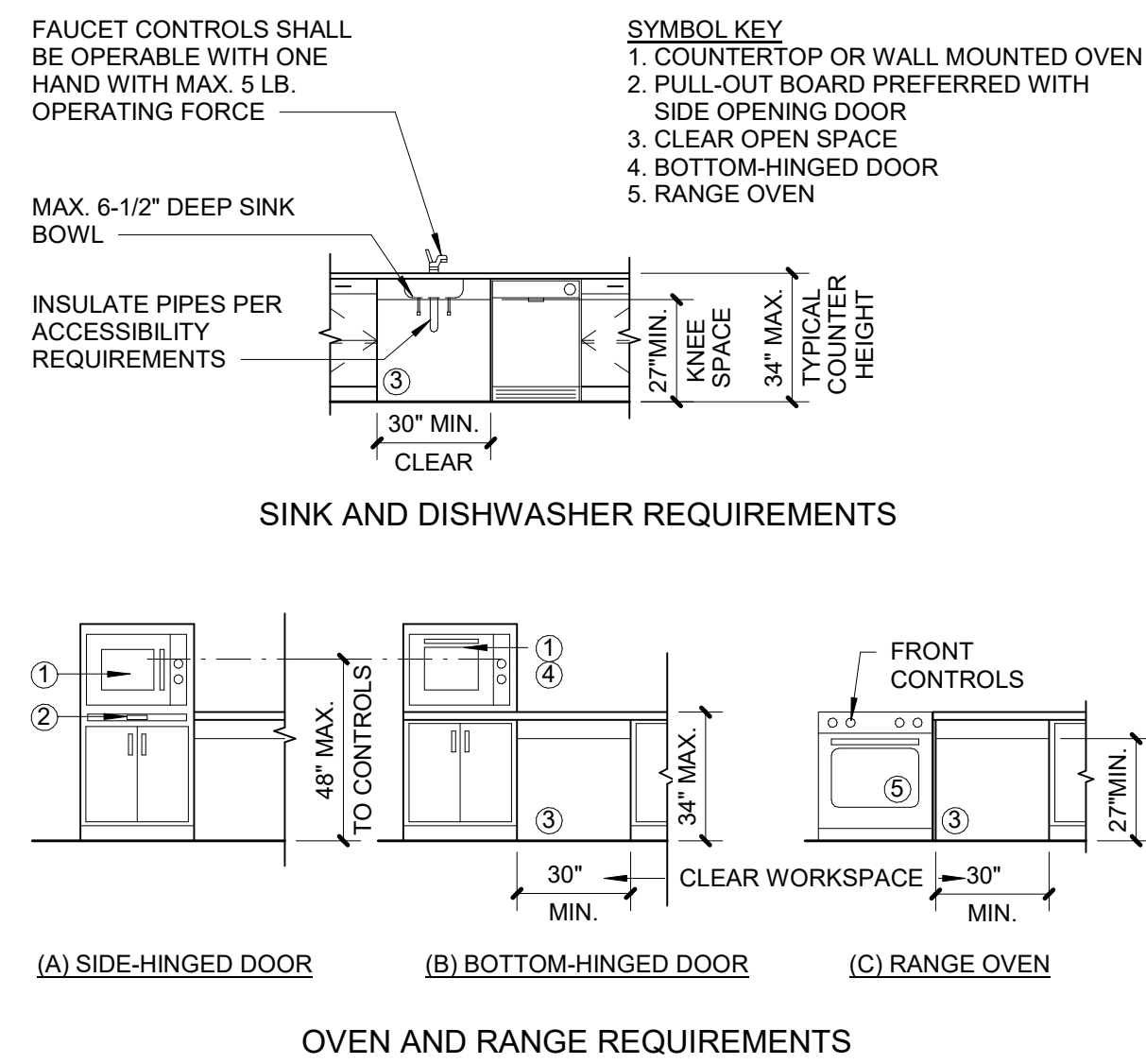
NOTE: LANDING AT DOOR TO BE MAINTAINED CLEAR AT ALL TIMES TO ALLOW FOR EMERGENCY EGRESS

FINISH AT EXISTING DOOR TO NEIGHBORING BUILDING IS LOWER THAN REQUIRED LANDING TO MEET ADA STANDARDS PER CBC 11B.

TENANT TO COORDINATE REMOVAL OF EXISTING DOOR TO ALLOW FOR REPAVING OF NEW EXTERIOR OCCUPANCY AND PROPER INSTALLATION OF EXTERIOR WALL ENCLOSURE. (DESCRIBED WORK BY OTHERS IS NOT INCLUDED UNDER THE SCOPE OF THIS APPLICATION OR WORK BY LOREN DESIGN).

1 LEVEL 1 - ADA IMPROVEMENT PLAN  
1/2" = 1'-0"





**KITCHEN DETAILS**

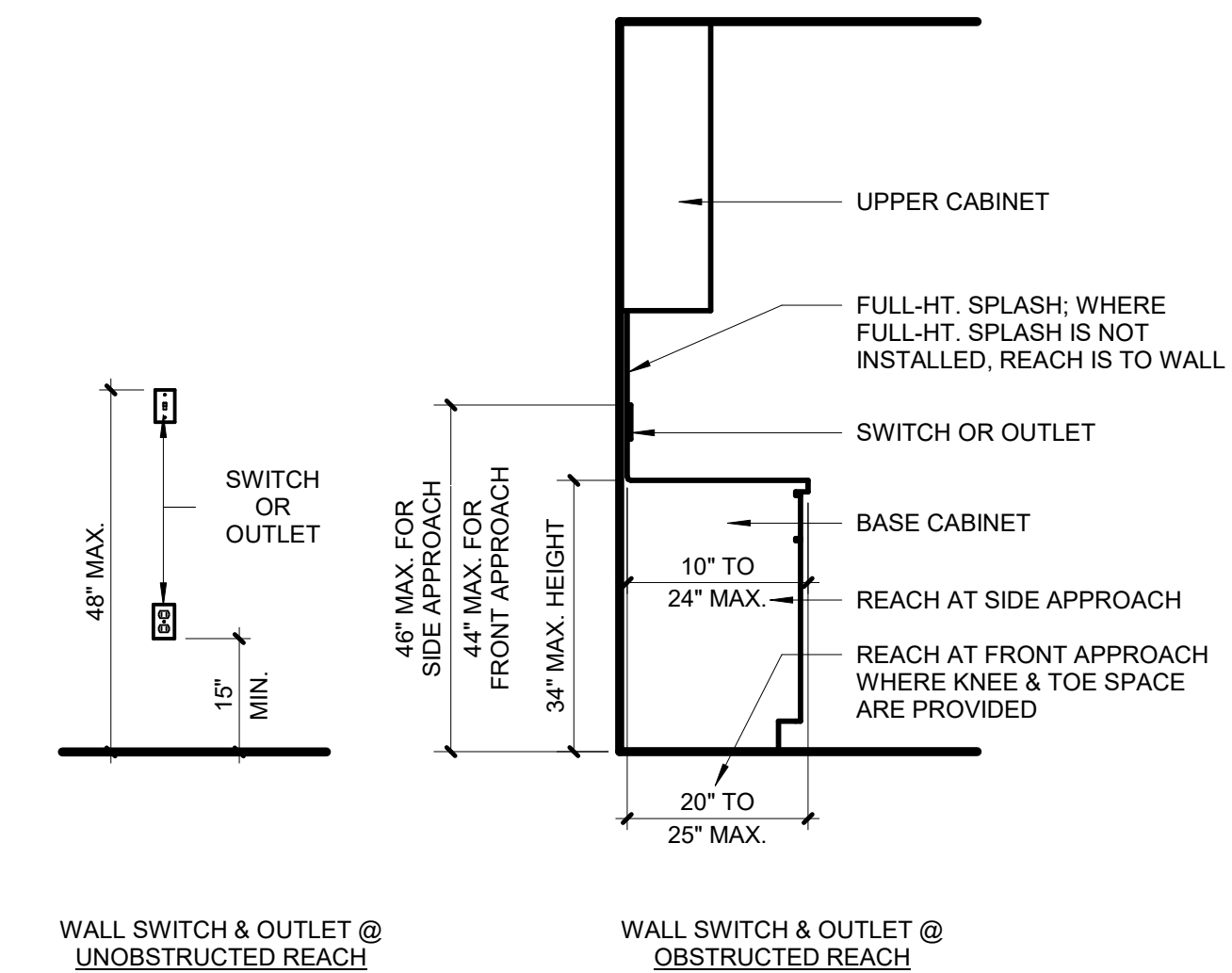
SCALE: 1/4" = 1'-0"

19

**DOOR THRESHOLD**

SCALE: 6" = 1'-0"

16



**ACCESSIBLE SWITCHES**

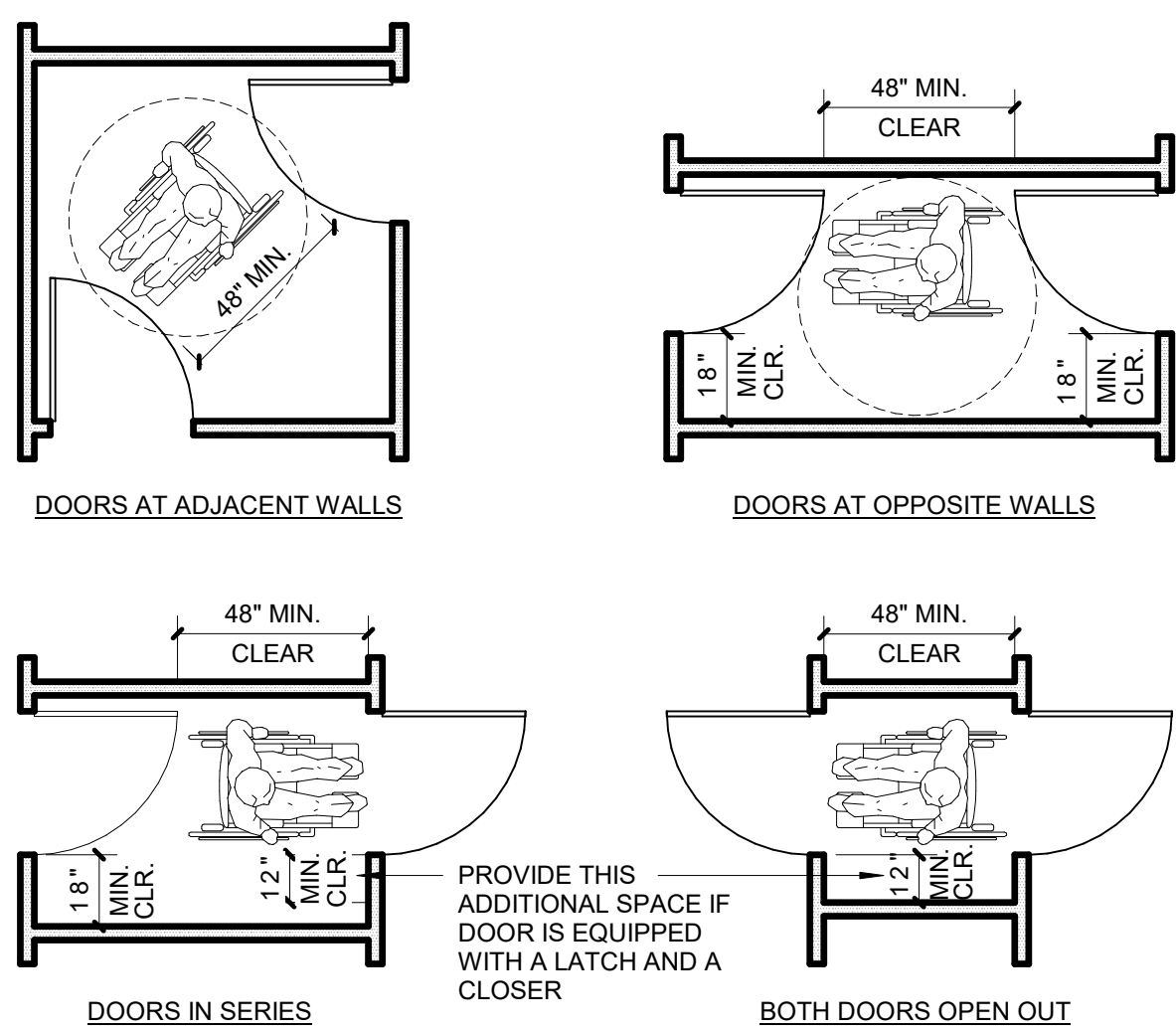
SCALE: 1/2" = 1'-0"

12

**COMMON AREA DOOR & GATE APPROACH**

SCALE: 1/4" = 1'-0"

18



**CONSECUTIVE DOOR SPACES**

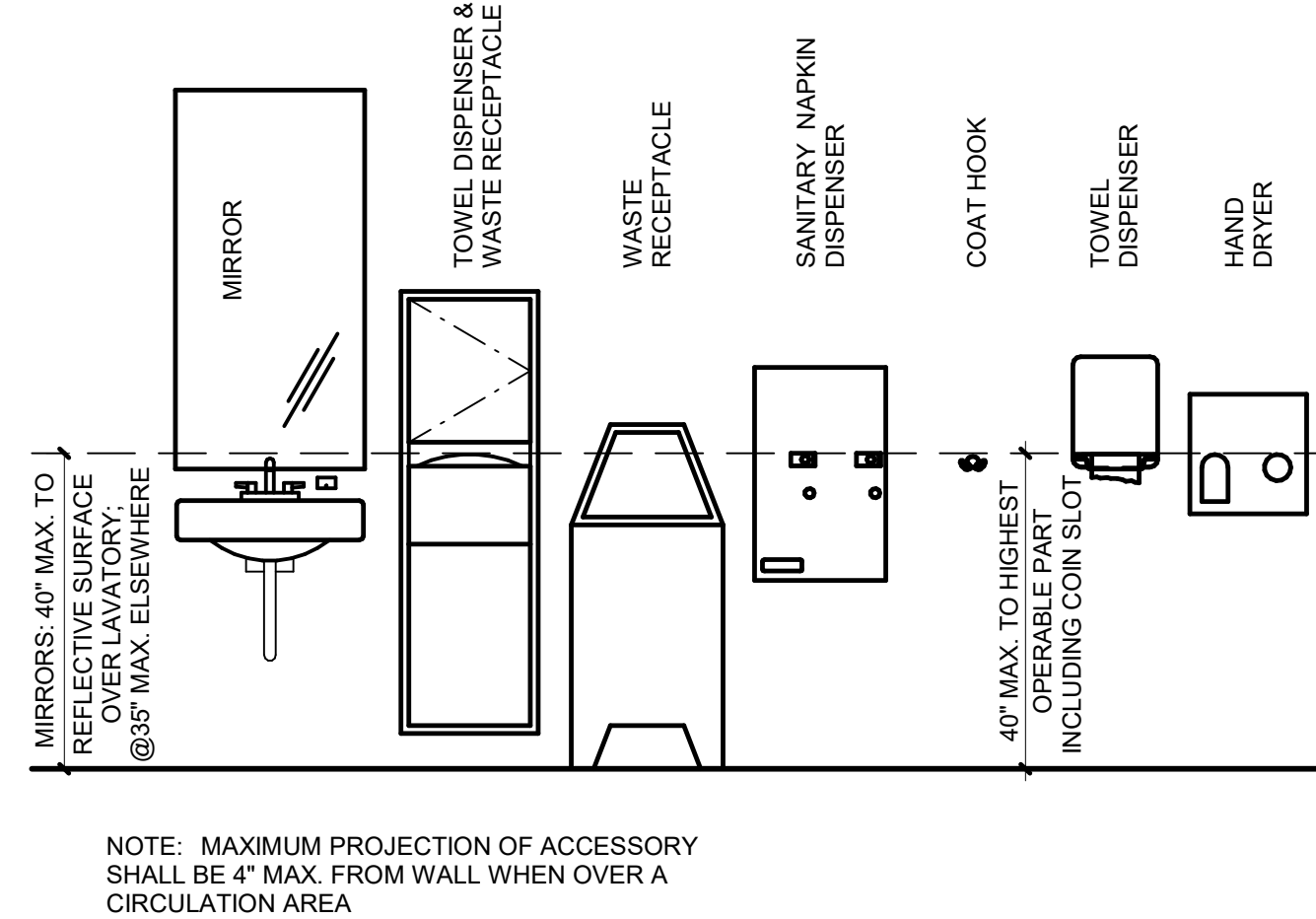
SCALE: 1/4" = 1'-0"

17

**TOILET ACCESSORY HEIGHTS**

SCALE: 1/2" = 1'-0"

9



**LAVATORY PLAN & ELEVATION**

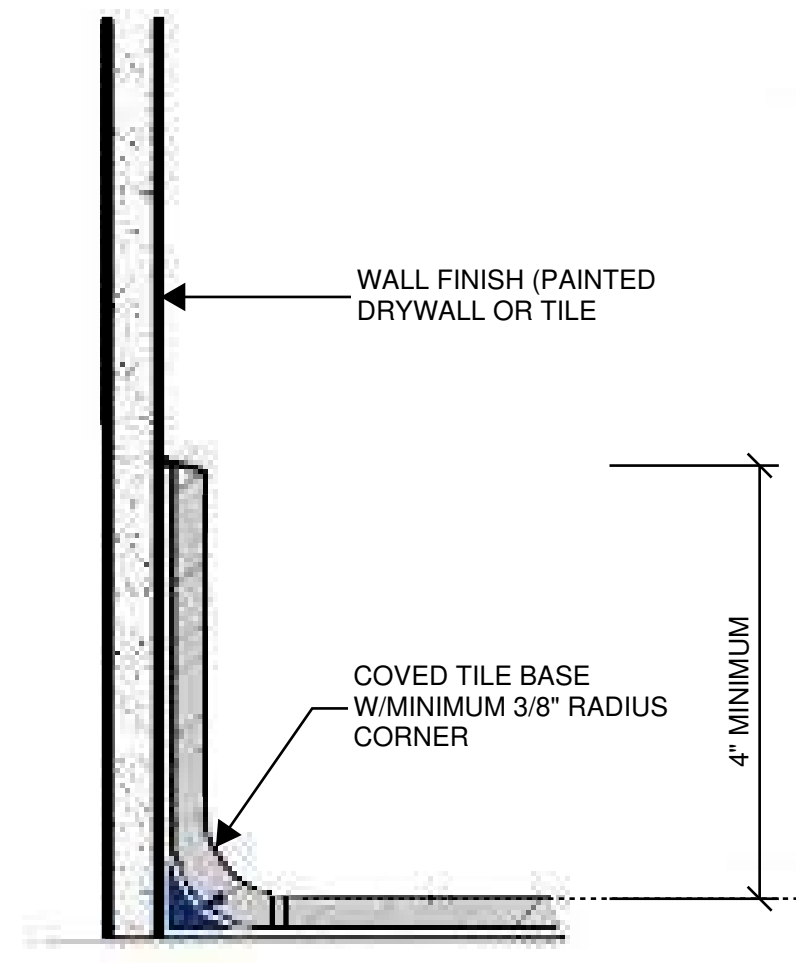
SCALE: 1/2" = 1'-0"

5

**TILE COVERED BASE AT WET SPACES**

SCALE: NTS

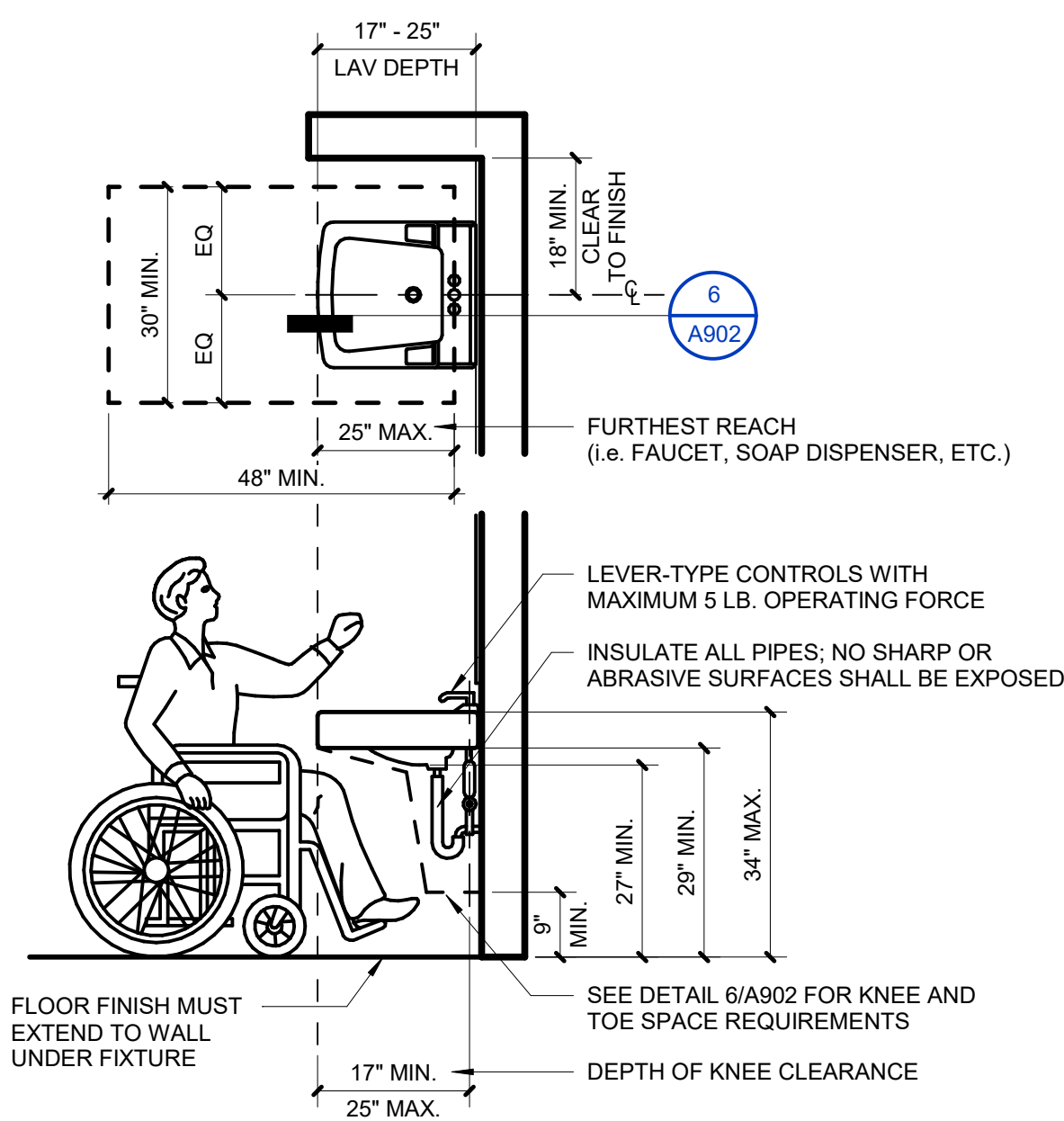
7



**SINGLE-OCCUPANCY RESTROOM**

SCALE: 1/2" = 1'-0"

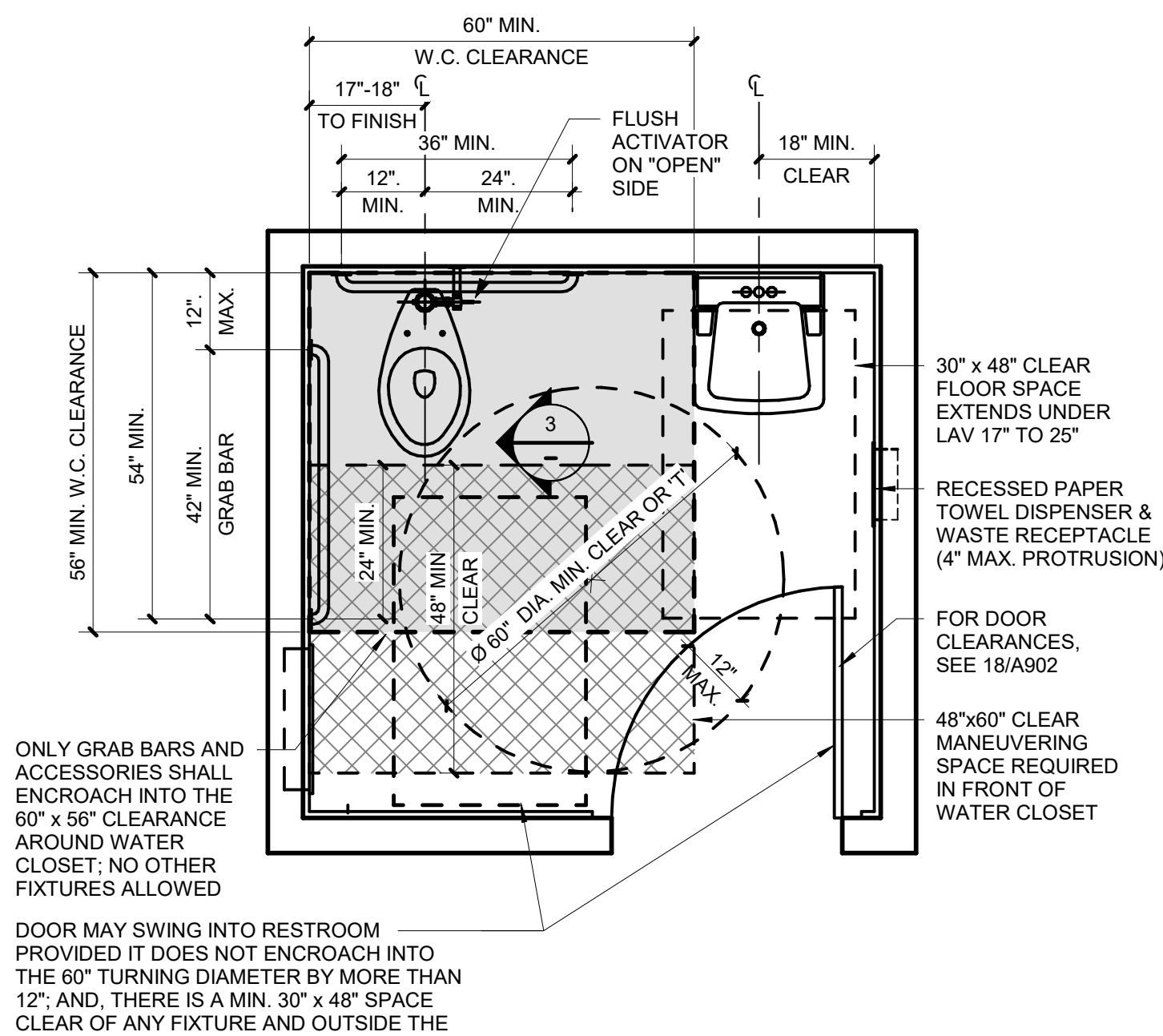
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**SINGLE-OCCUPANCY RESTROOM**

SCALE: 1/2" = 1'-0"

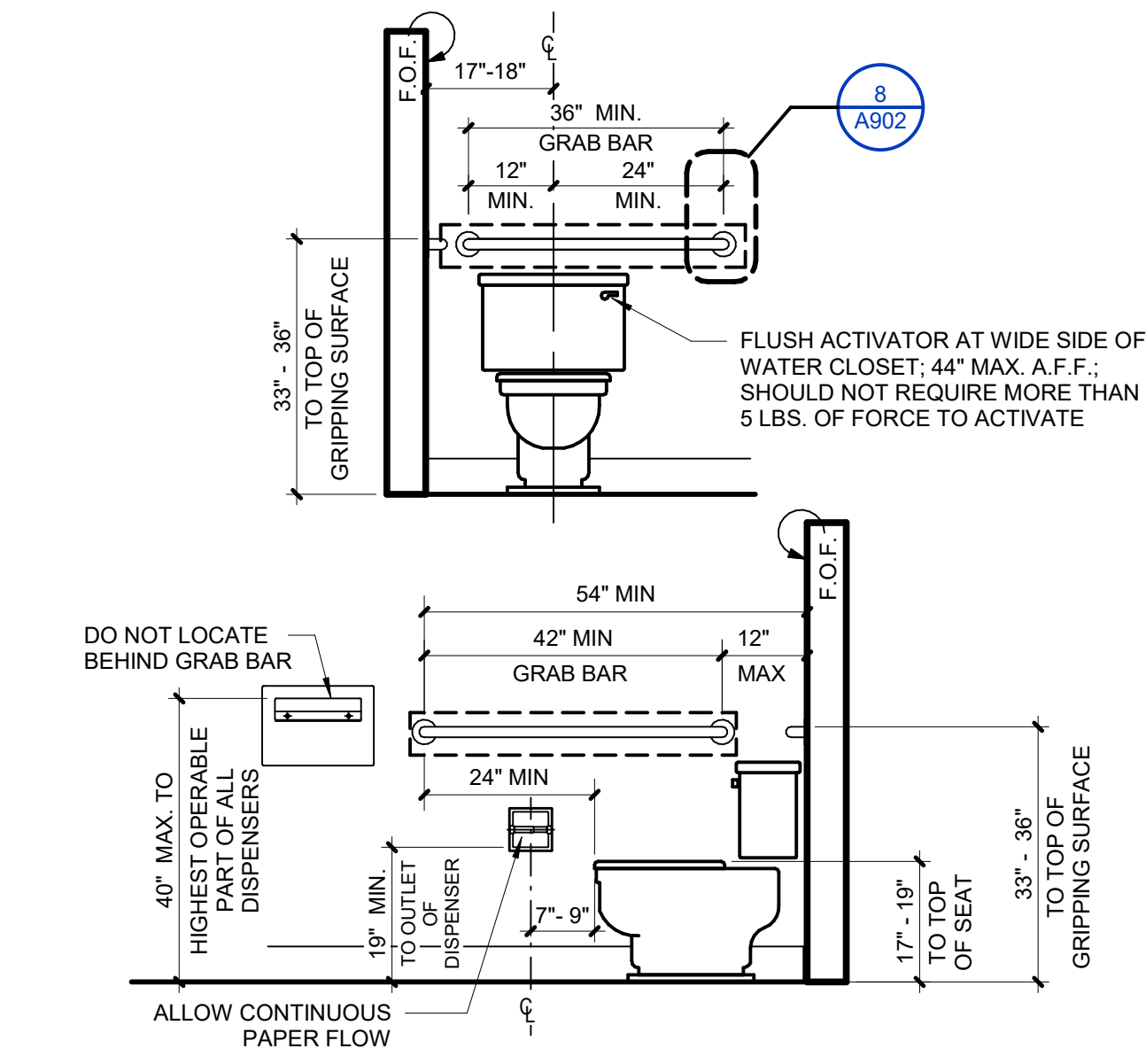
1



**SIDE ELEVATION OF WATER CLOSET**

SCALE: 1/2" = 1'-0"

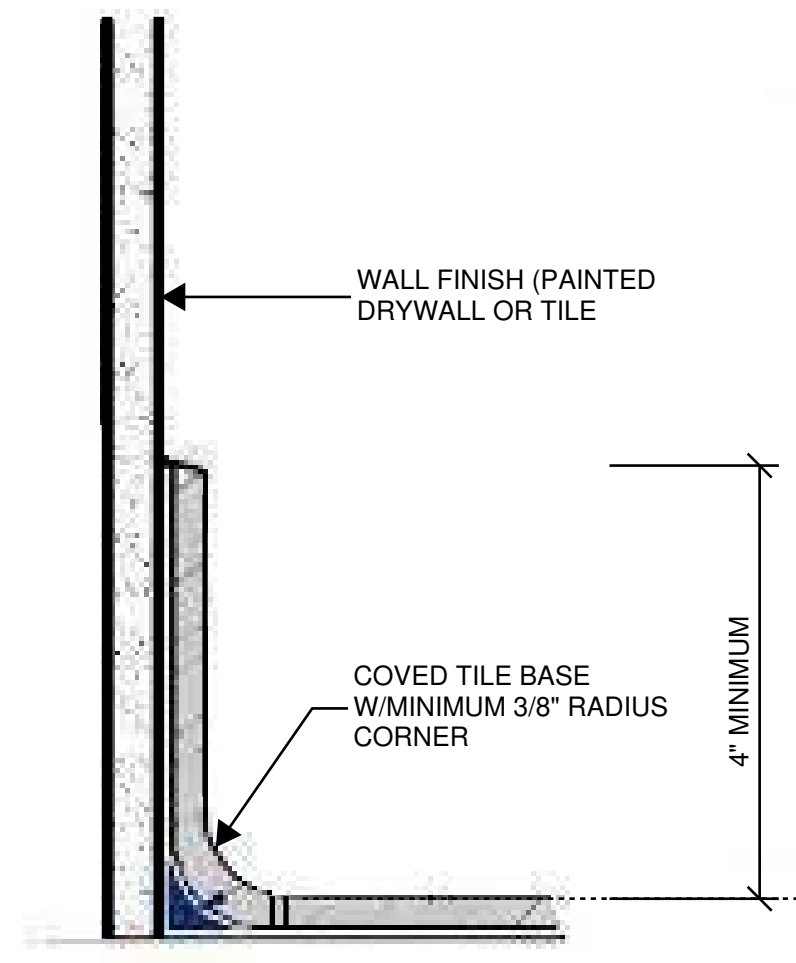
3



**SECTION THRU TYPICAL GRAB BAR**

SCALE: 1 1/2" = 1'-0"

8



**SECTION THRU TYPICAL GRAB BAR**

SCALE: 1 1/2" = 1'-0"

8

PREPARED FOR



**BUILDING TENANT:**  
 ALLEN ACEVES  
 CHISMOSA CAFE  
 132 E COLLEGE ST  
 COVINA, CA 91723

**BUILDING OWNER:**  
 DR. DIMITRIS CONSTANTINO  
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PROJECT ARCHITECT



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project status

**CONDITIONAL USE PERMIT (CUP) PLANNING PACKAGE**  
 DATE: 06/28/2024

PROJECT:  
 CHISMOSA CAFE-TI  
 PROJECT NO: 2202.30  
 REF:  
 DATE: 09/20/22  
 SHEET TITLE:  
 DETAILS - ACCESSIBILITY  
 DETAILS COMMON & PUBLIC AREAS

SHEET NUMBER:  
**1.A902**



**PROJECT SCOPE OF WORK**

APPLICATION FOR PLANNING, BUILDING AND HEALTH DEPARTMENT APPROVAL OF PROPOSED EXTERIOR PATIO.  
PROPOSED WORK INCLUDES 2 PHASES:

- PHASE 2:**  
2.1. REMOVAL OF REMAINING ONSITE PARKING STALLS. (SEE SITE PLAN)  
2.2. WATER AND POWER UNDERGROUND UTILITIES FOR (2) VENDOR FOOD TRUCKS.  
2.3. EXTERIOR SIDEYARD IMPROVEMENTS.

**EXTERIOR FURNITURE & FIXTURES SCHEDULE:**

**TABLE SETTINGS:**  
(TBL-1) TABLE 1: 30" SQUARE TABLE W/3 CHAIRS. PROVIDE ADA DESIGNATED TABLES

**BAR COUNTER SETTINGS:**  
(CTR-1) COUNTERTOP 1 : 9'-6" X 14" WALL MOUNTED AT ADA HEIGHT W/ 4 SEATS  
(CTR-2) COUNTERTOP 1 : 7'-0" X 14" FREE STANDING COUNTER W/ 3 STOOLS

**PLANTERS:**  
(PA-1) PLANTER 1: 48" PREFAB PLANTER BOX  
(PA-2) PLANTER 2: 36" PREFAB/CUSTOM SUSPENDED PLANTER BOX

**FESTOON LIGHTING:**  
(LT-1) OVERHEAD FESTOON LIGHTING: AMERICAN LIGHTING COMMERCIAL GRADE E17 (LED) OR SIMILAR REFER TO 1.G003 FOR MORE INFORMATION

**SHADING:**  
(SHD-1) OVERHEAD FABRIC/CANVAS SHADES: SUNBRELLA EXTERIOR GRADE FABRICS OR SIMILAR  
(SHD-2) RELOCATEABLE UMBRELLA AND BASE STAND

**KEYNOTE LEGEND -BY SHEET**

NO.	KEYNOTE DESCRIPTION
15	PHASE 1: FULL WIDTH OF EXISTING DRIVE AISLE TO REMAIN OPEN AND MAINTAINED CLEAR DURING DAILY BUSINESS HOURS. FENCE AND MAN GATE TO SERVE AS ACCESSIBLE MEANS OF EGRESS AND BARRIER DURING FOOD AND BEVERAGE SALES HOURS.
16	PHASE 1 AND 2: MAX 6'-0" TALL FENCE AND MAN GATE TO SERVE AS ACCESSIBLE MEANS OF EGRESS AND BARRIER DURING FOOD AND BEVERAGE SALES HOURS. GATE AND FENCE TO BE MIXED MATERIAL OF PAINTED STEEL STRUCTURAL WITH HORIZONTAL SIDING. PROVIDE KEYPAD ACCESS CONTROLS FOR SLIDING GATE, TO BE APPROVED BY CITY OF COVINA FIRE AND POLICE DEPARTMENT.
18.2	PHASE 2: OVERHEAD FESTOON LIGHTING AND POSTS. OVERHEAD FESTOON LIGHTING TO BE PROVIDED WITHIN ACCEPTABLE RANGE OF 5-20 FC, AND IN COMPLIANCE WITH CITY OF COVINA TOWN CENTER SPECIFIC PLAN LIGHTING STANDARDS, AND REQUIRED LIGHT LEVELS FOR EMERGENCY EXITING. SEE PLAN FOR APPROXIMATE LINEAR FOOTAGE OF LIGHTING STRANDS.

PREPARED FOR



**BUILDING TENANT:**  
ALLEN ACEVES  
CHISMOSA CAFE  
132 E COLLEGE ST  
COVINA, CA 91723

**BUILDING OWNER:**  
DR. DIMITRIS CONSTANTINO  
EASY GROUP LLC  
128 E COLLEGE ST  
COVINA, CA 91723

PROJECT ARCHITECT



COREY LOREN POPE  
DBA LOREN DESIGN  
514 W 5TH STREET  
SAN DIMAS, CA 91773

ARCHITECT STAMP

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no.	date	printed / revised
12.13.23		CUP/PLANNING SUBMISSION
04.01.24		CUP/PLANNING SUBMISSION
06.28.24		CUP/PLANNING SUBMISSION

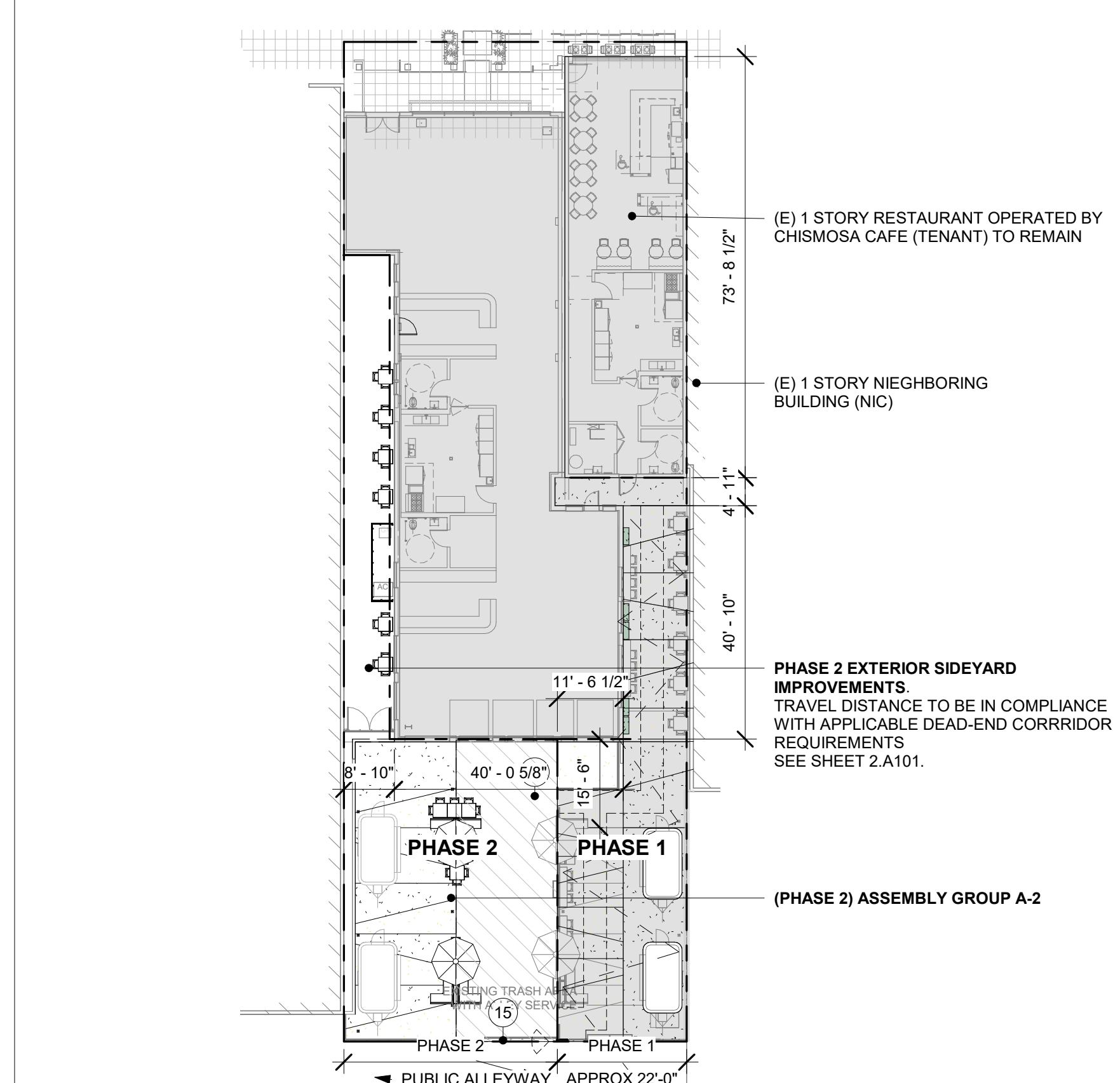
project status

**CONDITIONAL USE PERMIT (CUP) PLANNING PACKAGE**  
**DATE: 06/28/2024**

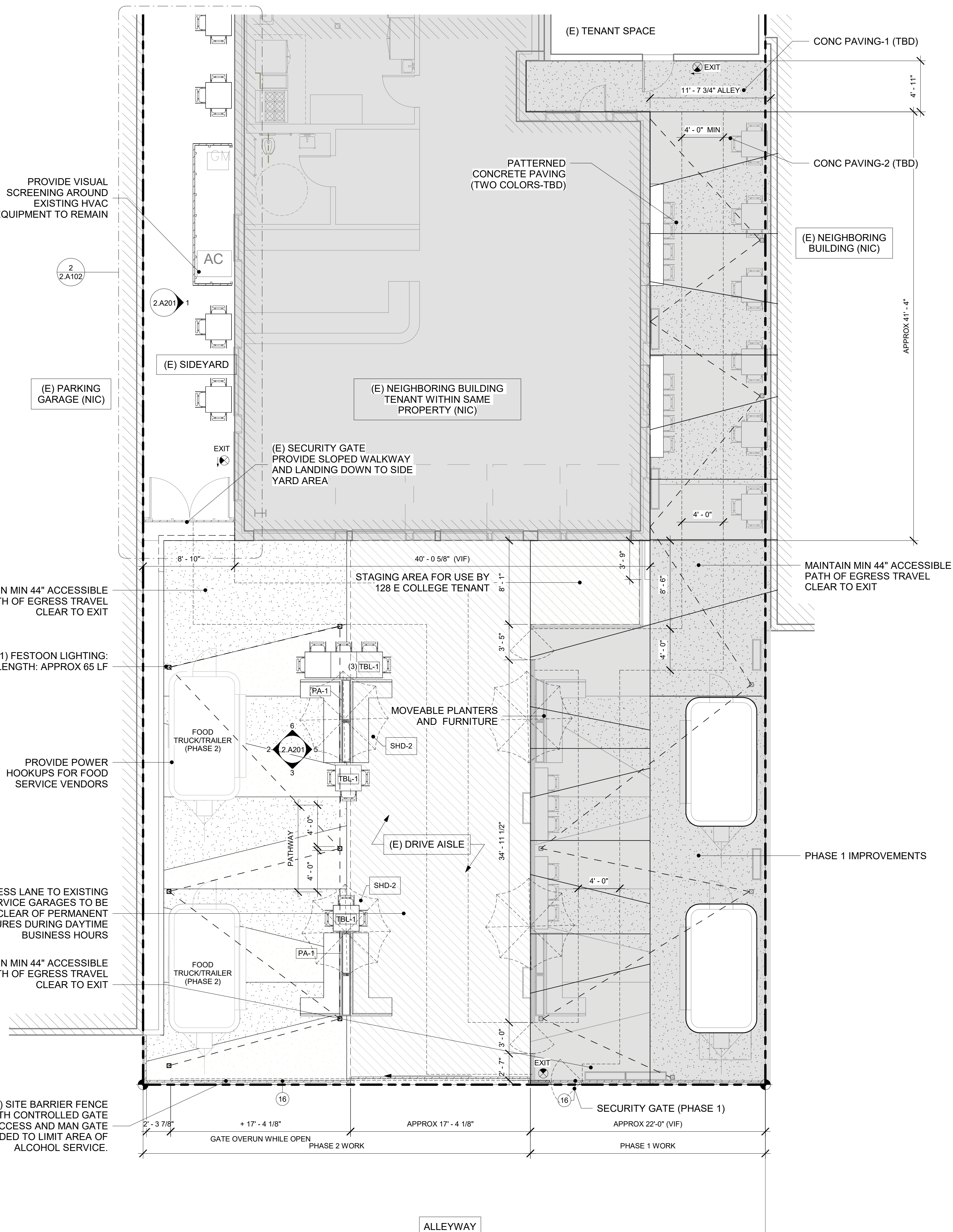
PROJECT:  
CHISMOSA CAFE-TI  
PROJECT NO: 2202.30  
REF:  
DATE: 03/26/24  
SHEET TITLE:  
PHASE 2 - EXTERIOR TENANT IMPROVEMENT PLAN

SHEET NUMBER:

**2.A101**

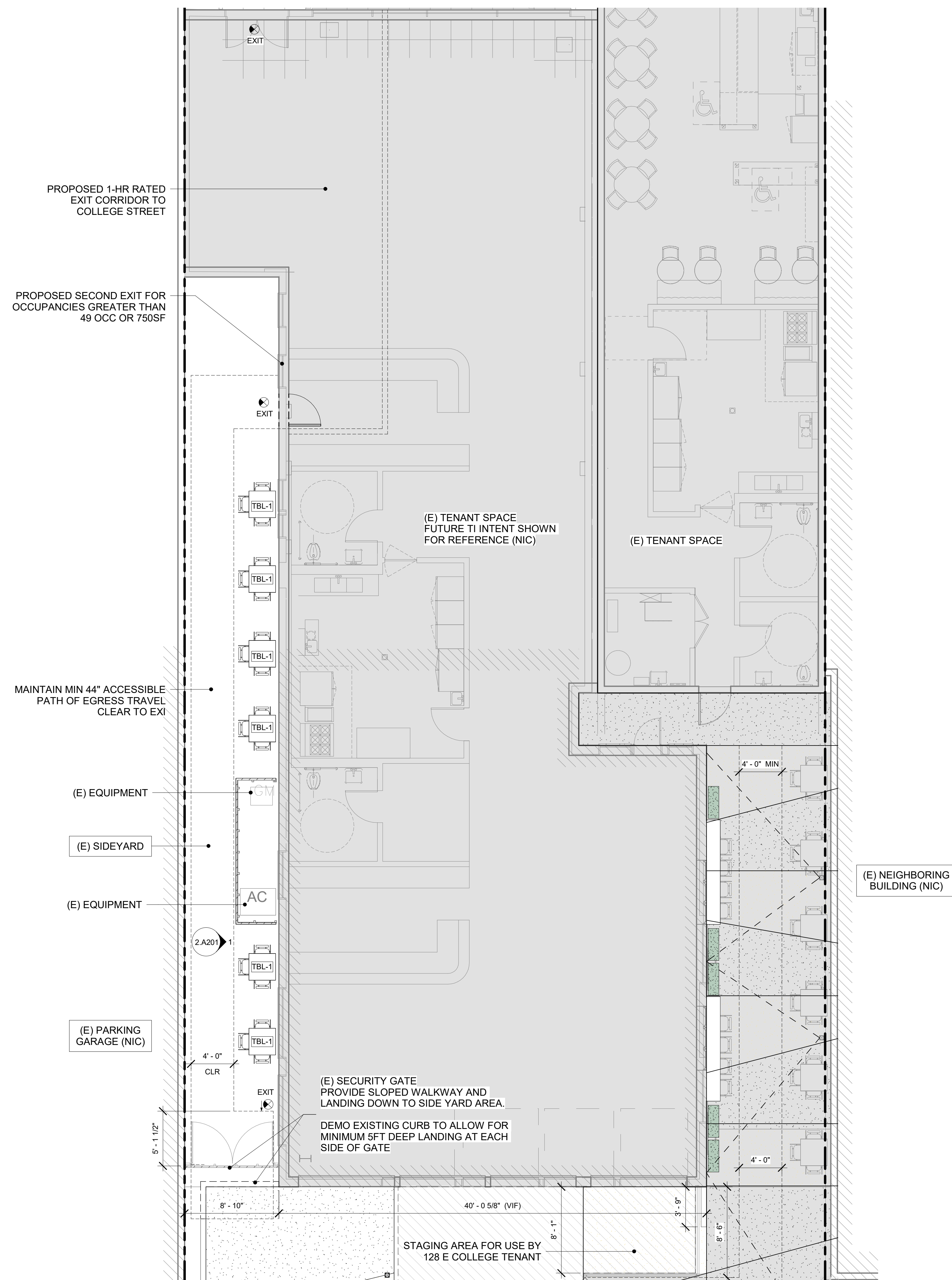


2 EXT IMPROVEMENTS-KEY PLAN PHASE 2  
3/64" = 1'-0"



1 REAR EXTERIOR IMPROVEMENTS-PHASE 2  
3/16" = 1'-0"





**PROJECT SCOPE OF WORK**

APPLICATION FOR PLANNING, BUILDING AND HEALTH DEPARTMENT APPROVAL OF PROPOSED EXTERIOR PATIO.  
 PROPOSED WORK INCLUDES 2 PHASES:

- PHASE 2:**
- 2.1. REMOVAL OF REMAINING ONSITE PARKING STALLS. (SEE SITE PLAN)
  - 2.2. WATER AND POWER UNDERGROUND UTILITIES FOR (2) VENDOR FOOD TRUCKS.
  - 2.3. EXTERIOR SIDEYARD IMPROVEMENTS.

**EXTERIOR FURNITURE & FIXTURES SCHEDULE:**

**TABLE SETTINGS:**  
 (TBL-1) TABLE 1: 30" SQUARE TABLE W/3 CHAIRS. PROVIDE ADA DESIGNATED TABLES

**BAR COUNTER SETTINGS:**  
 (CTR-1) COUNTERTOP 1 : 9'-6" X 14" WALL MOUNTED AT ADA HEIGHT W/ 4 SEATS  
 (CTR-2) COUNTERTOP 1 : 7'-0" X 14" FREE STANDING COUNTER W/ 3 STOOLS

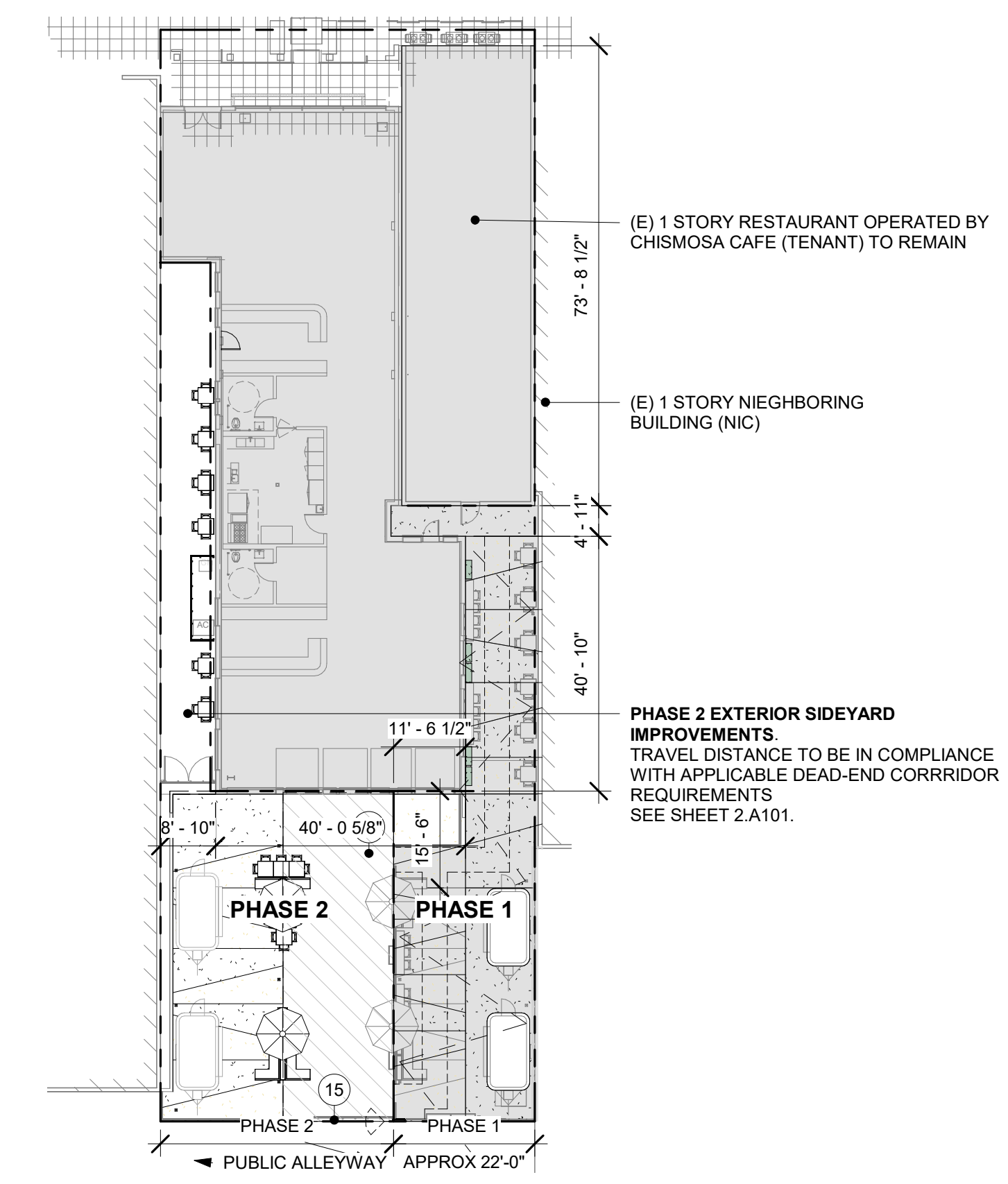
**PLANTERS:**  
 (PA-1) PLANTER 1: 48" PREFAB PLANTER BOX  
 (PA-2) PLANTER 2: 36" PREFAB/CUSTOM SUSPENDED PLANTER BOX

**FESTOON LIGHTING:**  
 (LT-1) OVERHEAD FESTOON LIGHTING: AMERICAN LIGHTING COMMERCIAL GRADE E17 (LED) OR SIMILAR  
 REFER TO 1.G003 FOR MORE INFORMATION

**SHADING:**  
 (SHD-1) OVERHEAD FABRIC/CANVAS SHADES: SUNBRELLA EXTERIOR GRADE FABRICS OR SIMILAR  
 (SHD-2) RELOCATEABLE UMBRELLA AND BASE STAND

**KEYNOTE LEGEND -BY SHEET**

NO.	KEYNOTE DESCRIPTION
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16	PHASE 1 AND 2: MAX 6'-0" TALL FENCE AND MAN GATE TO SERVE AS ACCESSIBLE MEANS OF EGRESS AND BARRIER DURING FOOD AND BEVERAGE SALES HOURS. GATE AND FENCE TO BE MIXED MATERIAL OF PAINTED STEEL STRUCTURAL WITH HORIZONTAL SIDING. PROVIDE KEYPAD ACCESS CONTROLS FOR SLIDING GATE, TO BE APPROVED BY CITY OF COVINA FIRE AND POLICE DEPARTMENT.



1 EXT IMPROVEMENTS-KEY PLAN PHASE 2 SIDEYARD  
 3/64" = 1'-0"

PREPARED FOR



**BUILDING TENANT:**  
 ALLEN ACEVES  
 CHISMOSA CAFE  
 132 E COLLEGE ST  
 COVINA, CA 91723

**BUILDING OWNER:**  
 DR. DIMITRIS CONSTANTINO  
 EASY GROUP LLC  
 128 E COLLEGE ST  
 COVINA, CA 91723

PROJECT ARCHITECT



COREY LOREN POPE  
 DBA LOREN DESIGN  
 514 W 5TH STREET  
 SAN DIMAS, CA 91773

ARCHITECT STAMP

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04.01.24		CUP/PLANNING SUBMISSION
06.28.24		CUP/PLANNING SUBMISSION

project status

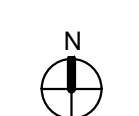
**CONDITIONAL USE PERMIT (CUP) PLANNING PACKAGE  
 DATE: 06/28/2024**

PROJECT:  
 CHISMOSA CAFE-TI  
 PROJECT NO: 2202.30  
 REF:  
 DATE: 03/29/24  
 SHEET TITLE:  
 PHASE 2-EXTERIOR SIDE YARD PARTIAL PLAN

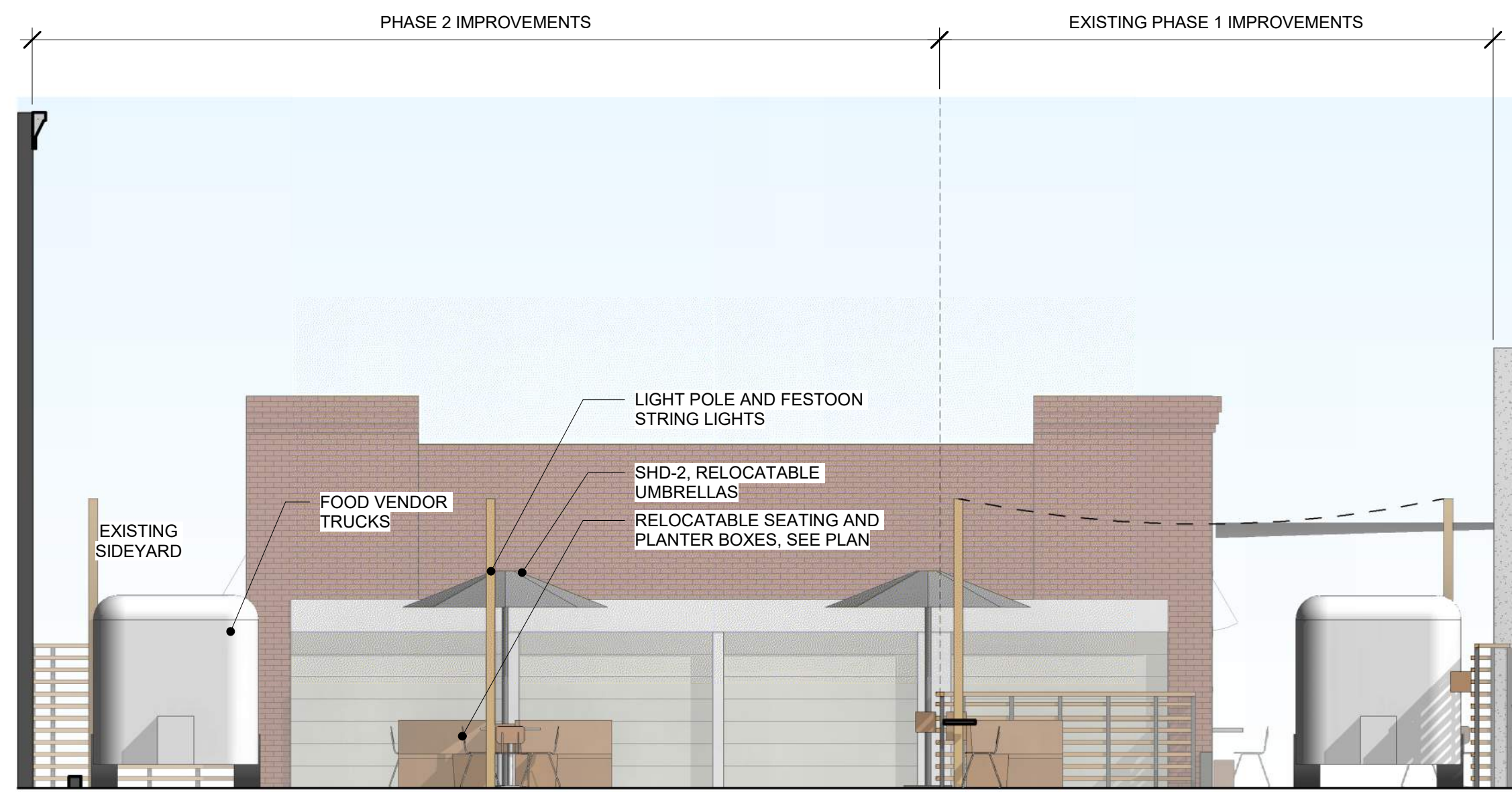
SHEET NUMBER:

**2.A102**

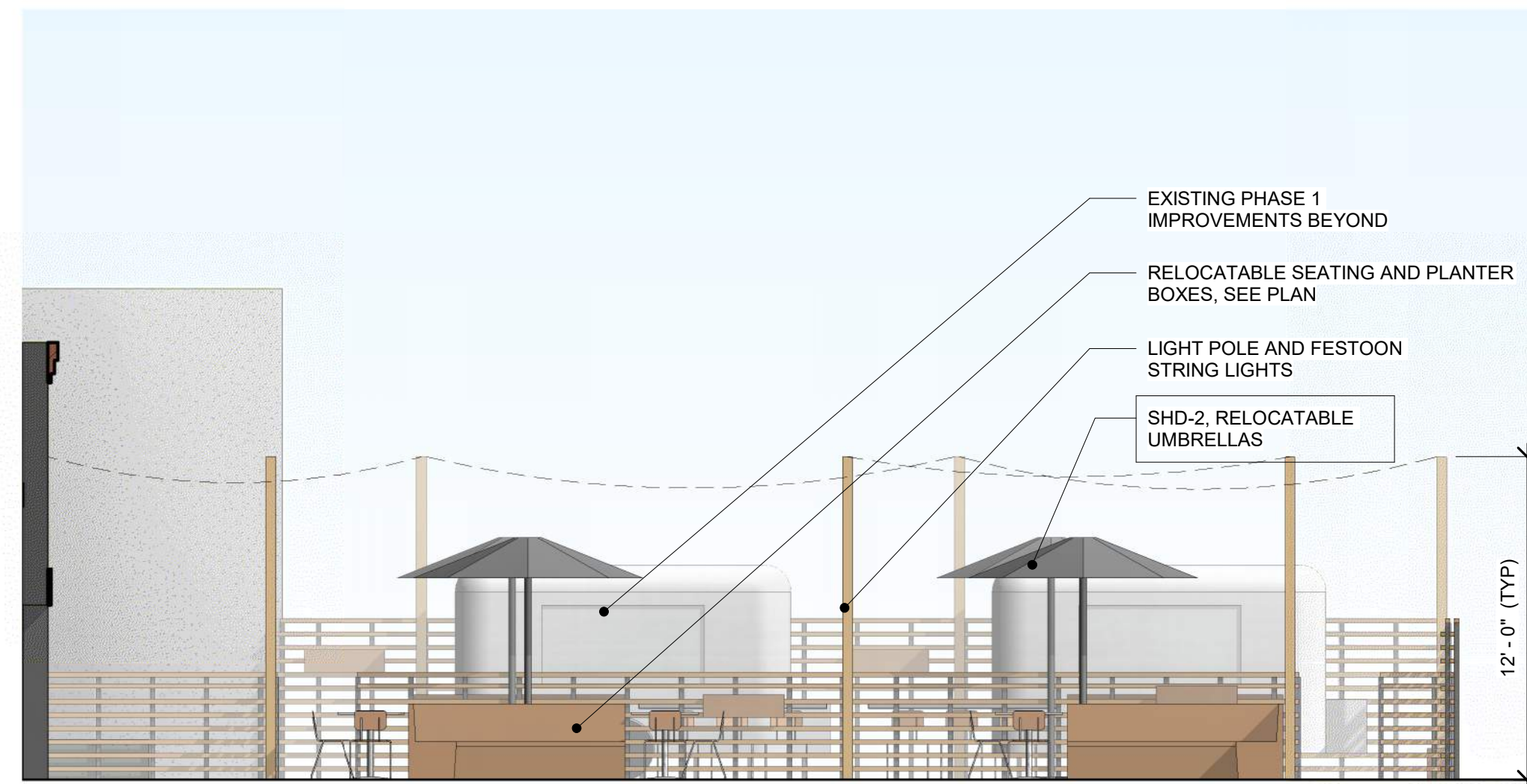
2 SIDE YARD EXTERIOR IMPROVEMENTS-PHASE 2  
 3/16" = 1'-0"



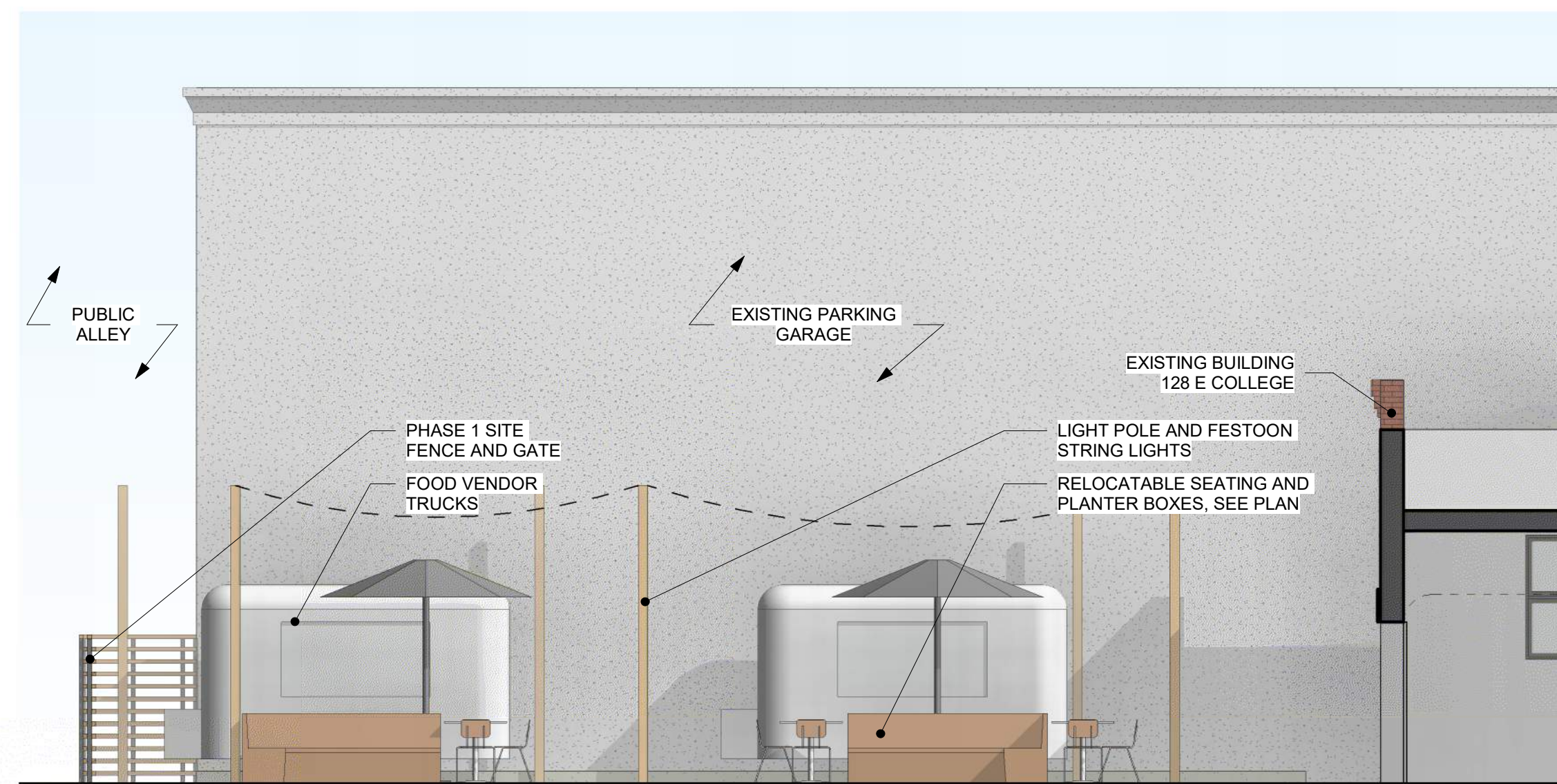




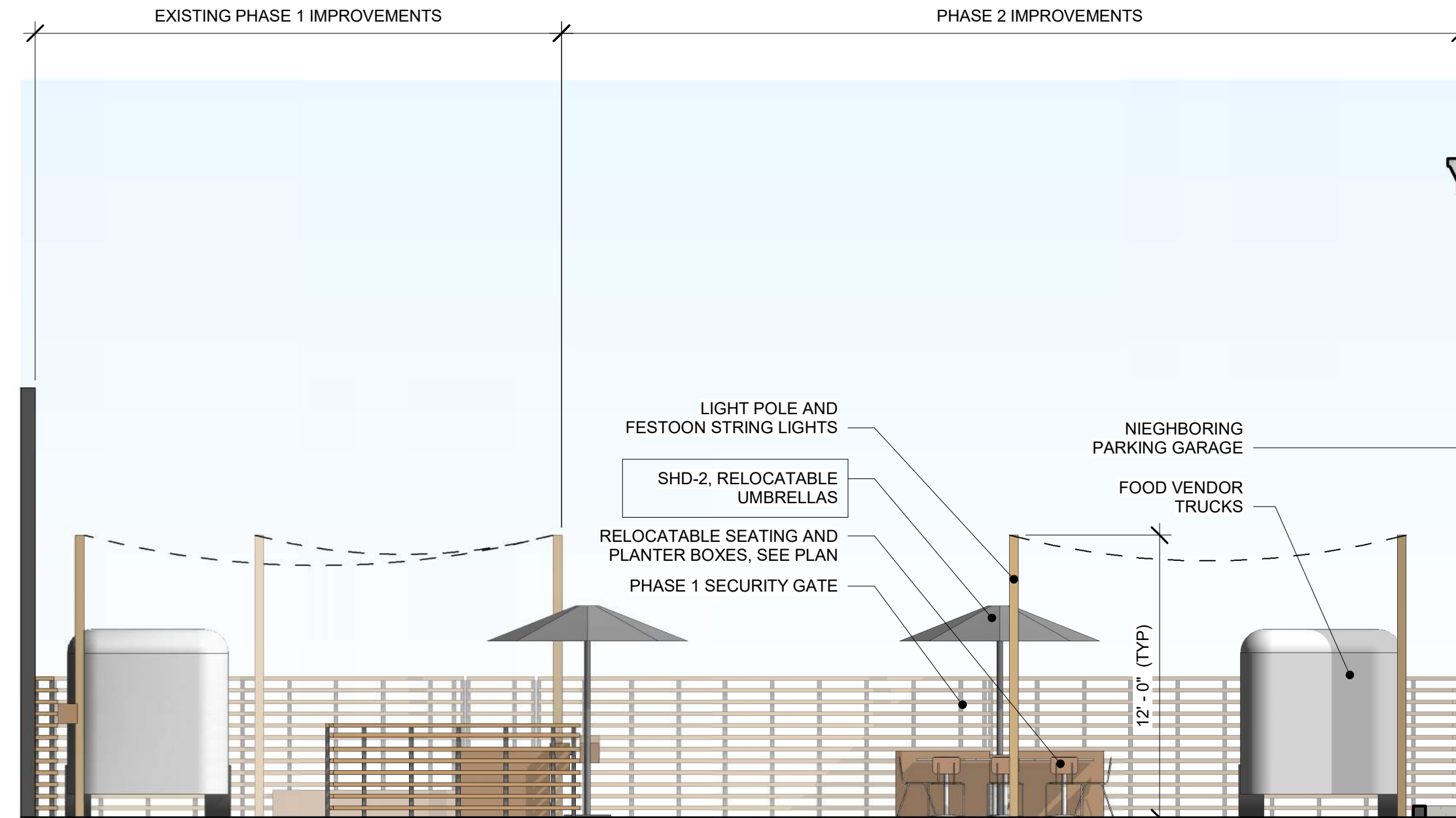
⑥ PHASE 2 BLDG ELEVATION AT REAR GARAGES (128 E COLLEGE)  
3/16" = 1'-0"



⑤ PHASE 2 REAR PATIO LOOKING EAST  
3/16" = 1'-0"



② PHASE 2 BLDG ELEVATION AT PARKING GARAGE  
3/16" = 1'-0"



③ PHASE 2 REAR ELEVATION FACING PUBLIC ALLEY  
3/16" = 1'-0"



① PHASE 2 SIDE YARD SEATING  
3/16" = 1'-0"

**PROJECT SCOPE OF WORK**

APPLICATION FOR PLANNING, BUILDING AND HEALTH DEPARTMENT APPROVAL OF PROPOSED EXTERIOR PATIO. PROPOSED WORK INCLUDES 2 PHASES:

**PHASE 2:**

- 2.1. REMOVAL OF REMAINING ONSITE PARKING STALLS. (SEE SITE PLAN)
- 2.2. WATER AND POWER UNDERGROUND UTILITIES FOR (2) VENDOR FOOD TRUCKS.
- 2.3. ADDITION OF OVERHEAD FESTOON LIGHTING.
- 2.4. ADDITION OF LOOSE DINING FURNITURE FOR FOOD WITHIN EXTERIOR PATIO.
- 2.5. EXTERIOR SIDEYARD IMPROVEMENTS.

PREPARED FOR



**BUILDING TENANT:**  
ALLEN ACEVES  
CHISMOSA CAFE  
132 E COLLEGE ST  
COVINA, CA 91723

**BUILDING OWNER:**  
DR. DIMITRIS CONSTANTINO  
EASY GROUP LLC  
128 E COLLEGE ST  
COVINA, CA 91723

PROJECT ARCHITECT

**loren design**

COREY LOREN POPE  
DBA LOREN DESIGN  
514 W 5TH STREET  
SAN DIMAS, CA 91773

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06.28.24		CUP/PLANNING SUBMISSION

project status

**CONDITIONAL USE PERMIT (CUP) PLANNING PACKAGE**  
**DATE: 06/28/2024**

PROJECT:  
CHISMOSA CAFE-TI  
PROJECT NO: 2202.30  
REF:  
DATE: 03/26/24  
SHEET TITLE:  
PHASE 2-EXTERIOR ELEVATIONS

SHEET NUMBER:

**2.A201**





PREPARED FOR



**BUILDING TENANT:**  
ALLEN ACEVES  
CHISMOSA CAFE  
132 E COLLEGE ST  
COVINA, CA 91723

**BUILDING OWNER:**  
DR. DIMITRIS CONSTANTINO  
EASY GROUP LLC  
128 E COLLEGE ST  
COVINA, CA 91723

PROJECT ARCHITECT

**loren design**

COREY LOREN POPE  
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514 W 5TH STREET  
SAN DIMAS, CA 91773

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04.01.24	CUP/PLANNING SUBMISSION	
06.28.24	CUP/PLANNING SUBMISSION	

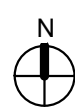
project status

**CONDITIONAL USE PERMIT (CUP) PLANNING PACKAGE**  
**DATE: 06/28/2024**

PROJECT:  
CHISMOSA CAFE-TI  
PROJECT NO: 2202.30  
REF:  
DATE: 03/26/24  
SHEET TITLE:  
PHASE 2-EXTERIOR RENDERINGS

SHEET NUMBER:

**2.A202**





# **ATTACHMENT D**

## **Resolution No. 2024-014 with Conditions of Approval**



## RESOLUTION NO. 2024-014 PC

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COVINA, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT (CUP) 23-10 AND SITE PLAN REVIEW (SPR) 23-281, A REQUEST TO ADD A 4,830 SQ. FT OUTDOOR DINING AREA INCLUDING AN INSTALLMENT OF (4) FOUR FOOD TRAILERS WITHIN THE PROPERTY IN CONJUNCTION WITH ON-SITE ALCOHOL SALES WITHIN THE PREMISES. THE EXISTING BONA FIDE EATING ESTABLISHMENT IS ALSO OFFERING ON-SALE ALCOHOL. THE ABUTTING OFFICE SPACE WILL BE CONVERTED TO A BONA FIDE EATING ESTABLISHMENT IN CONJUNCTION WITH ON-SALE ALCOHOL, WITHIN THE TOWN CENTER SPECIFIC PLAN - CULTURAL CORE ZONE LOCATED AT 128 - 132 E. COLLEGE ST, COVINA, CA, 91723 (APN: 8445-009-040) AND MAKING A DETERMINATION OF EXEMPTION OF THE CALIFORNIA ENVIRONMENTAL ACT (CEQA) GUIDELINES**

WHEREAS, Dimitri Constantinou (Applicant and Property Owner), has filed a conditional use permit and a site plan review (Application) to operate two (2) bona-fide establishments in conjunction with on sale alcohol along with a 4,830 square feet outdoor dining area with four (4) food trailers in conjunction with on sale alcohol and live entertainment located at 128-132 E College St, Covina, CA, 91723 (APN: 8445-009-040) (Property); and

WHEREAS, pursuant to Table 3-2 of the Town Center Specific Plan, the following uses are listed as conditional uses subject to CMC Chapter 17.62 within the Cultural Core Zone: (i) Alcohol Sales, on-Site with or without Food Service and (iii) Outdoor Dining (with alcohol); and

WHEREAS, pursuant to CMC Chapter 17.62, the Planning Commission shall hold a public hearing on an application or a conditional use permit; and

WHEREAS, pursuant to Chapter 6 of the Town Center Specific Plan, projects within the Town Center Specific Plan are subject to the Site Plan review requirements of CMC Chapter 17.64 Site Plan. CMC Chapter 17.64 generally requires site plan review and approval for new development or redevelopment including specified new construction, remodeling, alteration, relocation, rebuilding, or expansion of any building. Pursuant to CMC Section 17.64.040. (B), when a site plan entitlement is processed with another entitlement, the reviewing body is the same as that other entitlement; and

WHEREAS, on September 10<sup>th</sup>, 2024 at the regular meeting the Planning Commission conducted a duly noticed public hearing at which time oral and written comments received prior to or at the meeting, together with a recommendation from the Planning Division, was presented to the Planning Commission. The Planning Commission concluded said hearing on that date.

WHEREAS, all legal prerequisites prior to the adoption of this Resolution have occurred.

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF COVINA, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:**

**SECTION 1.** The foregoing recitals are true and correct and are incorporated herein and made an operative part of this Resolution.

**SECTION 2.** Based upon the entire record made available at the September 10<sup>th</sup>, 2024 meeting, the staff report, the oral presentation, and related documents submitted to the Planning Commission prior to and at the meeting, the Planning Commission hereby finds and determines as follows:

**A. Findings for Conditional Use Permit (CMC Section 17.62.026(C))**

Based on an analysis of the proposed project, the following findings for a Conditional Use Permit can be made:

**1. Subsection (B) of this Section 17.62.026 shall not apply to liquor on-sale in conjunction with a bona fide eating establishment.**

*Facts:* The Applicant is proposing a "bona-fide eating establishment," thereby exempting conditional use permit requirements under CMC Section 17.62.026(B)(1) with respect to liquor and on-sale establishments. **Therefore, as proposed, this criterion has been met.**

**B. Findings for Conditional Use Permit (CMC Section 17.62.120)**

**1. The site for the proposed use is adequate in size and shape to accommodate the use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this title to adjust the use with land and uses in the neighborhood.**

*Facts:* The overall 4,080-square-foot building has existed on the subject site well over 50 years, with no known issues pertaining to appurtenant commercial activities. The space in which the proposed two (2) bona-fide eating establishments would operate appears to have sufficient physical dimensions to support the general restaurant business plus the entertainment related and onsite liquor service on both restaurants and outdoor food trailers. The proposed 4,830 square-foot outdoor dining area with 4 permanent food trailers will be completely within the property. In addition, as noted under project analysis, the adjoining public parking lots would accommodate the parking needs of the business. The subject site is located within the Covina Town Center Specific Plan (CTCSP) Cultural Core Zone and is identifiable by its mix of retail stores, services, restaurants, cultural and entertainment venues, and residential uses. On-street dining is encouraged to draw foot traffic to the area known to have a characteristic of the Historic "strollable" downtown. Compatible new development on vacant, underutilized sites that compliments and enhances the historic look and feel of the district attracts local and regional visitors to the area. The shared use of existing parking facilities supports the rejuvenation of older structures. **Therefore, as proposed, this criterion has been met.**

- 2. That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use.**

**Facts:** The site is located within an established downtown area, uses conform well to the surrounding neighborhood infrastructure, and support services with access to major streets, freeway system, and retail services. The proposed use involves two bona-fide eating establishment, on-site alcohol sales, outdoor dining, and live entertainment would generate a negligible increase in traffic. There are multiple parking facilities surrounding the site which can avoid congestion. The City/Traffic engineer has reviewed the proposal and determined that College Street has sufficient widths and capacities to accommodate the trips. **Therefore, as proposed, this criterion has been met.**

- 3. The proposed use will have no adverse effects on the abutting properties or the permitted use thereof.**

**Facts:** As noted under the first finding, the appurtenant commercial building has existed for many years, and the scope of the current physical enhancements entail an interior tenant improvement to accommodate a new sit-down restaurant in conjunction with the on sale of alcohol, a 4,000 square feet outdoor dining area with (4) four permanent food trailers installed to offer a variety of food and the consumption of alcohol within the premises. Relative to the current building and supporting improvements on the project site, the changes would constitute a refinement of the building and its appurtenances, clearly visible from all surrounding views. The refurbished property would conform to the development intensity of the surroundings and meet the character of adjacent buildings in terms of architecture and style. In addition, the overall improvements would bring more people to the property, particularly during the evening and weekend periods, which would enhance social vitality. No potentially negative impacts relative to the on-site liquor service and the outdoor eating have been identified. In addition, the proposed sit-down restaurant and, the outdoor dining area in conjunction with on sale alcohol within the premises it would not become a nuisance for adjacent businesses and residences. The proposed (2) two "bona-fide eating establishment" conjunction with on-sale of alcohol is exempt from conditional use permit requirements under CMC Section 17.62.026(B)(1) with respect to liquor, on-sale establishments within 700 feet from a place used exclusively for religious worship, school, park, playground, residential or any similar sensitive use. The Applicant will be required to obtain an entertainment permit through the Covina Police Department. **Therefore, as proposed, this criterion has been met.**

- 4. That the conditions stated in the decision are deemed necessary to protect public health, safety, and general welfare. Such conditions include regulation of use, regulation of signs, requiring maintenance of grounds, regulation of noise, vibrations, odors, etc., regulation of time for certain activities, duration of use, and any such other conditions as will make possible the development of the city in an orderly and efficient manner and conformity with the intent and purposes set forth in this title.**

**Facts:** The operation of two bona fide eating establishment with the on-sale of beer, wine, and distilled spirits for consumption is conditionally permitted within the CTCSP Cultural Core Zone. All activities associated with the business will be conducted in a manner that will

meet the provisions of Chapter 9.40 (Noise - which seeks to prevent unusual noises and vibrations). Approval of these applications will expire three years from the date of Project approval if building permits are not issued unless otherwise extended pursuant to applicable laws. Conditions of approval have been formulated to ensure that the proposed improvements for a bona-fide eating establishment with on-site alcohol sale will operate in a manner consistent with the Covina Municipal Code and will not negatively affect the public health, safety, and general welfare of the community. The proposed use would only involve beer, wine, and spirits sales associated with a (permitted by right) typical sit-down restaurant. Conditions of approval will ensure that the site maintains 50% of the gross floor area for the seating of patrons for the purpose of meals. The business would comply with the required Bona-Fide Eating Establishment criteria under Section 17.04.100 of the Covina Municipal Code. No major public health or safety-related impacts have been identified during the project review. The Development Review Committee, comprised of Building and Safety, Environmental Services, Los Angeles County Fire, Covina Police Department, and Planning and Engineering, was provided an opportunity to review and comment on the project application. In addition, the proposed use has been conditioned to ensure that no potential issues would arise during operations. The staff's comments confirm that the proposed use would operate in a manner consistent with the Covina Municipal Code and would not negatively affect the public health, safety, and general welfare of the community. **Therefore, as conditioned, this criterion has been met.**

### **C. Findings for Site Plan Review (CMC Section 17.64.070)**

In order to approve the Site Plan Review (SPR) application, the Planning Commission must make the findings as listed below:

#### **1. All provisions of Title of the CMC are complied with;**

**Facts:** As described in detail within the "Project Analysis," the proposed operation of two bona-fide eating establishment with on-sale of alcohol along with a 4,830 square feet outdoor dining area with 4 food trailers in conjunction with on sale alcohol within the Town Center Specific Plan, Cultural Core Zone. Conditions of approval will ensure that the site maintains 50% of the gross floor area for the seating of patrons for the purpose of meals. The businesses would comply with the required Bona-Fide Eating Establishment criteria under Section 17.04.100 of the Covina Municipal Code. The site is located within an established area characterized by existing streets, sidewalks, walls, existing structures, and uses that conform well to surrounding neighborhood infrastructure, circulation, and support services. The project would have no negative impacts on existing streets and sidewalks in that the proposed project is an outdoor dining area with a change of use request from an existing office structure to a Bona-Fide eating establishment with on-sale alcohol and a second existing a bona-fide eating establishment proposing to offer on-sale alcohol, with minimal impact on existing and surrounding traffic conditions with the proximity to public transit, and other forms of accessible transportation options (i.e., Uber, walking, cycling, etc.) With the proposed modifications, overall site improvements, and recommended conditions of approval, the proposed use will have no adverse effect on surrounding properties. **Therefore, as conditioned, this criterion has been met.**

**2. The design and layout of the proposed development are consistent with the general plan, zoning code, development standards of the applicable zoning district, specific plans, design guidelines and objective design standards;**

**Facts:** The proposed scope of work is consistent and conforms to the City of Covina's General Plan Goals No. , Objective No. 3, Policy No. 7, in that the proposed outdoor dining area in conjunction with on sale alcohol and two bona-fide eating establishment in conjunction with on sale alcohol use "facilitate development for community economic betterment, image enhancement, will not adversely affect the integrity of established commercial and/or industrial areas, encroach into residential neighborhoods, or impose undue burdens on local infrastructure or services." The site is located within an established downtown area, uses conform well to the surrounding neighborhood infrastructure, and supports services with access to major streets, freeway system, and retail services. Conditions of approval will ensure that the site maintains 50% of the gross floor area for the seating of patrons for the purpose of meals. The business would comply with the required Bona-Fide Eating Establishment criteria under Section 17.04.100 of the Covina Municipal Code. As such, the proposed scope of work satisfies all applicable guidelines to the project, as outlined under the Town Center Specific Plan Standards, the Covina Design Guidelines, and General Plan. **Therefore, as conditioned, this criterion has been met.**

**3. The design of the proposed development or the alterations to existing structures will not interfere with the use and enjoyment of existing neighborhood and future development, and will not create traffic or pedestrian hazards;**

**Facts:** As previously stated under "Project Analysis," the subject site is located within the CTCSP - Cultural Core Zone and is identified by its mix of retail stores, services, restaurants, cultural, entertainment venues, and residential land uses contribute to the vitality of the Covina Town Center through the attraction of local and regional visitor. Strong pedestrian connections to the Covina Metrolink station and nearby higher density residential uses will contribute to a vibrant activity center and destination for visitors, transit riders, and employees. Reduced development requirements and the encouragement of shared use of parking facilities will support the transition of land uses. The subject site is within an established area characterized by commercial and retail, connecting well to existing neighborhood infrastructure and support services. Proposed improvements to the site are aesthetically pleasing, functional, and visually compatible with neighboring structures and the area within which it is proposed to be located and follow the Town Center Specific Plan's Design Guidelines. **Therefore, this criterion has been met.**

**4. The proposed development has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA);**

**Facts:** The proposed Project is designed and in conformance with development standards consistent with the character, appearance, and features described within the CTCSP, thereby facilitating the desired sustainability and stability adequate for its environment, the neighborhood, and the community it will serve. The project involves interior improvements/upgrades to accommodate two restaurants and 4,830-square-foot out door dining area involving fences, planters, moveable outdoor furniture and four (4) permanent food trailers. No structural additions are proposed other than a 4,830-square-foot gated outdoor



seating area. Staff has determined that the project is exempt from the requirements of California Environmental Quality Act (CEQA) Guidelines under the Class 1 exemption under state CEQA Guidelines Section 15301, which consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. **Therefore, this criterion has been met.**

**5. The proposed development will not be detrimental to the public health, safety or welfare or materially injurious to the properties or improvements in the vicinity;**

**Facts:** Construction activities during the tenant and exterior improvements are not likely to cause serious public health problems. All potentially hazardous materials used during project construction will be disposed of in accordance with manufacturers' specifications and instructions, thereby reducing the risk of hazardous materials use. In addition, the Project would comply with all applicable federal, state, and local requirements concerning the use, storage, and management of hazardous materials, including but not limited to the Resource Conservation and Recovery Act, California Hazardous Waste Control Law, Federal and State Occupational Safety and Health Acts, SCAQMD rules, and permits and associated conditions issued by the Building and Safety Division. **Therefore, as conditioned, this criterion has been met.**

**6. The development complies with the provisions for dedications, public improvements and undergrounding utilities pursuant to CMC 17.64.140 and congestion management and transportation demand management requirements pursuant to CMC 17.64.150;**

**Facts:** All new utility service lines that are installed to serve the property shall be placed underground. The Applicant shall comply with any other utility and/or street improvements required by the Department of Public Works (Engineering, Traffic, and Environmental Services). **Therefore, as conditioned, this condition has been met.**

**SECTION 3.** The Planning Commission, based on its own independent judgment, has determined that the proposed project of the "Operating two (2) bona-fide establishments in conjunction with on sale alcohol along with a 4,830 square feet outdoor dining area with four (4) food trailers in conjunction with on sale alcohol" is deemed exempt from the California Environmental Quality Act (CEQA) under to specific categorical exemptions: Class 1. The project involves only minor alterations of an existing private structure involving negligible or no expansion of the existing or former use, and is located in an area where all public services and facilities are available. The project involves only exterior improvements/upgrades to accommodate multiple mobile food trailers and install new shade canopies. No structural additions are proposed other than a 4,830-square-foot outdoor seating area gated that's within private property. Approval of this project would not result in any significant effects relating to traffic, noise quality, or water quality. The site can be adequately served by all required utilities and public services. There is no substantial evidence that the project will have a significant effect on the environment.

The Planning Commission further finds that there is no substantial evidence that the Project will have a significant effect on the environment.

**SECTION 4.** Based upon findings and conclusion set forth in Sections 1, 2, and 3 above, the Planning Commission hereby approves the application:

A. The Conditional Use Permit (CUP) 23-10 and Site Plan Review (SPR) 23-281 is hereby approved, subject to the conditions of approval set forth in the written record before the Commission incorporated here and attached hereto as Exhibit "A."

B. The Secretary of the Planning Commission is directed to serve, by first-class mail, a written notice of this decision to the Applicant within five (5) days.

**SECTION 5.** This Resolution shall become effective immediately upon its adoption, subject to a 10 calendar-day appeal period

PASSED AND ADOPTED by the members of the Planning Commission of the City of Covina at a regular meeting thereof held on the 10<sup>th</sup> day of September 2024.

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ROSIE RICHARDSON, CHAIRPERSON  
CITY OF COVINA PLANNING COMMISSION

I hereby certify that the foregoing is a true copy of a resolution adopted by the Planning Commission of the City of Covina at a regular meeting thereof held on the 10<sup>th</sup> of September, 2024, by the following vote of the Planning Commission:

AYES:

NOES:

ABSENT:

ABSTAIN:

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COVINA PLANNING COMMISSION SECRETARY

**EXHIBIT A**  
**CONDITIONAL USE PERMIT (CUP) 23-10**  
**APN: 8451-003-018**  
**CONDITIONS OF APPROVAL**

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The **Conditional Use Permit (CUP) 23-10** a request to add a 4,830 sq. ft outdoor dining area including an installment of (4) four food trailers within the property in conjunction with on-site alcohol sales within the premises. The existing bona fide eating establishment is also offering on-sale alcohol. The abutting office space will be converted to a bona fide eating establishment in conjunction with on-sale alcohol, within the Town Center Specific Plan - Cultural Core zone located at 128 -132 E. College St, Covina, CA, 91723 (APN: 8445-009-040) As set forth in the plans on file with the Community Development Department. These conditions are binding on the Property Owner and any subsequent property owners, heirs, or assign, collectively referred to herein as the Applicant or Applicant/Property Owner

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**ALL OF THE FOLLOWING CONDITIONS APPLY TO THE PROJECT**

**A. TIME LIMITS:**

1. **Conditional Use Permit (CUP) 23-10:** Approval of this application will expire two years from the date of Project approval if building permits are not issued unless otherwise extended pursuant to applicable laws. The Applicant may apply to extend the expiration date for a maximum period of one year upon written request to the Director of Community Development a minimum of thirty (30) days prior to expiration. The request must be approved by the Planning Commission prior to the expiration of the approved CUP applications.

**B. GENERAL REQUIREMENTS:**

1. This approval is to allow the operation of a 4,830 sq. ft outdoor dining area including an installment of (4) four food trailers within the property in conjunction with on-site alcohol sales within the premises. The existing bona fide eating establishment is also offering on-sale alcohol. The abutting office space will be converted to a bona fide eating establishment in conjunction with on-sale alcohol, within the Town Center Specific Plan - Cultural Core zone located at 128 -132 E. College St, Covina, CA, 91723 (APN: 8445-009-040).
2. This approval will not be effective for any purposes until the Applicant has filed with the Planning Division an affidavit stating that it is aware of and agrees to accept all of the conditions of this approval as set forth herein and within 10 days from the date of this approval.
3. Applicant shall, at its own expense and with counsel selected by City, fully defend, indemnify and hold harmless City, its officials, officers, employees, and agents ("Indemnified Parties"), from and against any and all claims, suits, causes of action, fines, penalties, proceedings, damages, injuries or losses of any name, kind or description, specifically including attorneys' fees, ("Liabilities"), arising in any way out of City's approval of the Applications or the Project. Applicant's indemnification obligation shall include, but not be limited to, actions to attack, set aside, void, or annul the City's approval of the Applications, and Liabilities premised on, related to or invoking CEQA, including those arising out of City's decisions related to the Project's CEQA documents. City shall promptly notify Applicant of any such claim, action or

proceeding, and shall cooperate fully in the defense of such claim, action, or proceeding. Applicant's indemnification obligations shall not be limited to the amount of insurance coverage that may be available to Applicant, and shall not otherwise be restricted or confined by the presence or absence of any policy of insurance held by City or Applicant.

4. Applicant's obligations, as set forth above, shall survive the completion or abandonment of the Project or the issuance of a certificate of occupancy with respect thereto. However, Applicant's obligations after the issuance of a certificate of compliance for the Project shall be limited to indemnifying and defending the Indemnified Parties from legal challenges filed to set aside any part of the Project or its related components. The provisions of this condition are intended by the Parties to be interpreted and construed to provide the fullest protection possible under the law to the City. Further, all obligations and Liabilities under this Condition are to be paid by the Applicant as they are incurred. Applicant's obligations to indemnify under this Condition shall include the obligation of the Applicant to defend City with legal counsel of City's own choosing.
5. Hours of operation for the outdoor dining area shall be Tuesday through Sunday 9:00 a. m. to 11:00 p. m. These hours will accommodate breakfast lunch and dinner services during peak operating hours during the week. Chisrosa Cafe will only operate 9:00 a. m. to 4:00 p. m. Wednesday through Sunday.
6. In the event the applicant requires approval of a Public Convenience of Necessity (PCN), The Planning Commission's approval of the requested entitlements also includes the endorsement of the Planning Commission recommending the City Council adopt a resolution affirming the determination.
7. The Project Site and all improvements thereon, including landscaping, must be maintained in a sound, healthy, and attractive condition reasonably free of weeds, visible deterioration, graffiti, debris and/or other conditions that violate the Covina Municipal Code.
8. The costs and expenses of any code enforcement activities, including, but not limited to, attorneys' fees, caused by applicant's violation of any condition or mitigation measure imposed hereunder or any provision of the Covina Municipal Code must be paid by the applicant.
9. Approval of the CUP and SPR applications shall not waive the applicant's obligation for compliance with all other applicable sections of the Covina Municipal Code, the Covina Design Guidelines, Town Center Specific Plan and all other applicable plans.
10. An easement agreement will be required if proposing an art mural abutting 138 E College.
11. As part of the scope of work the existing roll up doors will need to be aesthetically upgraded such as providing art decor, murals or architectural features that will blend with the surrounding uses.
12. There will be no easy pop up tents or tarps permanently placed on site.

#### **C. SITE DEVELOPMENT**

1. The Project Site shall be developed and maintained in accordance the approved plans on file with the Community Development Department, all representations of record made by the

Applicant(s), the conditions contained herein, the Covina Municipal Code, the Town Center Specific Plan and the Covina Design Guidelines.

2. Final plans incorporating all conditions of approval and any plan-related changes required in the approval process shall be submitted for the Director or his designee for review and approval, prior to submittal for Plan Check process.
3. Copies of the signed Resolution No. 2024-014 PC shall be included on the plans (full size) for submittal of plan check.
4. Window painting and posters shall not exceed 50 percent of the window area on the building face on which the painting or poster is located.
5. All site, precise grading landscape, and irrigation, and street improvement-plans shall be coordinated for consistency, prior to issuance of any building permits.
6. All ground mounted utility appurtenances such as transformers, AC condensers, etc. shall be adequately screened using a combination of concrete or masonry walls, and or landscaping to the reasonable satisfaction of the Director or his/her designee.
7. A complete exterior lighting plan, including photometric printout, shall be submitted for review and approval, prior to issuance of building permits for any production units. The plan shall illustrate light fixture features, locations, height, and the compliance with applicable City Code provisions on illumination, design, and lighting orientation/glare prevention and the minimum one-foot candle standard where applicable.
8. All building and site improvements shall be installed in accordance with approved plans and information on file with the Planning, Building, and Engineering Divisions, and the irrigation systems must be fully operational upon issuance of certificates of occupancy. Furthermore, during construction, all on-site landscaped areas must be maintained reasonably free of weeds and debris.
9. The Project Site must be clean and reasonably free of trash and construction debris, and all construction equipment must be removed from the Project Site prior to issuance of the last certificate of occupancy for the production units.

#### **D. BUILDING AND SAFETY**

##### PLANS:

1. Submit 4 (Four) sets of complete plans, (Electronic submittal maybe at the time of submittal) including any proposed utilities and earthwork/grading. The Project must comply with the 2022 California Building Code and Standards. Be sure to include 2 (Two) sets each, any structural calculations, soils reports, and energy calculations shall be submitted with the above-mentioned plans. All calculations must bear an original signature from the licensed professional engineer or architect documented author.
2. Two sets each of any structural and energy calculations shall be submitted with the above mentions plans. All calculations must bear an original signature from the document author.

3. This Project must comply with applicable Federal and State Accessibility requirements to and throughout the buildings. Include compliance methods and structural details on the plans. It is required that an independent CASp review of the project be performed although your new facility may have already been approved and permitted by the building department, it is important to obtain CASp inspection services after your move-in because unintended access barriers and violations can be created, such as placing your furniture and equipment in areas required to be maintained clear of obstructions. For planned alterations, a CASp can review your improvement plans and provide an access compliance evaluation of your facility's public accommodation areas that may not be part of the alteration.
4. Demolition activities require an asbestos-containing materials (ACM) survey. (SCAQMD RULE 1403). The ACM report shall be prepared by an accredited testing laboratory in accordance with applicable SCAQMD rules and regulations. Proof of notification to the South Coast Air Quality Management District (SCAQMD), Office of Operations, shall be submitted to the Building Division with the relevant permit application for all demolition activities. Contact the SCAQMD at the address or number below for more information. Once any demolition activity has adhered to the applicable notification requirements to the SCAQMD, a formal demolition plan and permit must be obtained from the Building and Safety Division.
  - a. SCAQMD Headquarters; 21865 Copley Drive, Diamond Bar, CA, (909) 396-2381.
5. Provide an additional digital copy (pdf preferred) of the building floor plan, elevations, and site plan to be submitted to the LA County Assessor. This copy should be in sufficient detail to allow the assessor to determine the square footage of the buildings and, in the case of residential buildings, the intended use of each room. For additional information, please contact the LA County Assessor's, Public Service Desk at 888-807-2111.
6. The Applicant shall pay the applicable SB 50 development impact fees to the School District prior to issuance of the first building permit for production units.
7. Construction activity within 500' of a residential zone is prohibited between the hours of 6:00 pm and 7:00 am on Monday through Friday and between 5 pm and 8 am on Saturday and all day on Sunday and Holidays unless otherwise permitted

**E. COVINA POLICE DEPARTMENT**

1. Prior to offering any entertainment, live or non-live, an Entertainment Permit must be obtained through the Police Department. The establishment shall comply with the Covina Police Department in its Entertainment Permit process, specifically as it relates to any type of live or non-live entertainment taking place.
2. Additional security shall be required for any entertainment activities. The level of additional security shall be subjected to Police Department review and approval prior to commencing any entertainment.



3. Security shall be present when entertainment is taking place. Security shall have a Private Patrol Operator's Permit (PPO) obtained through the Police Department in addition to obtaining a Covina Business License, prior to commencing work.
4. When applicable, the owner or operator shall contract with a security company for security personnel or hire security personnel as employees.
5. If the owner or operator chooses to hire a security company, the security company must be licensed to operate in both the State of California and the City of Covina. Additionally, all employees who are assigned to work the premises must be licensed by the State of California as security guards and be in good standing throughout their time of employment.
6. In the event the owner or operator or manager provide their own security personnel, all personnel must be employed **only** as security personnel and not have other responsibilities while acting in that capacity. Additionally, all employees acting as security personnel must be licensed and in good standing with the State of California through their time of employment.
7. The Police Department may, after meeting with owners or managers of the establishment, increase the number of required security personnel or planned events or incidents where the police department determines that the number of on-duty security personnel is deficient.
8. At no time will any security personnel, whether employed by a private company or licensed by the City or employed by the establishment, be armed with any type of firearm.
9. The owners, operators, managers and all employees shall adhere to and obey all State laws and City ordinances relating to the service, consumption and possession of alcoholic beverages. Any violations of State laws or City ordinance will be presented to the District Attorney's office for prosecution and will be grounds for revocation or modification of this permit.
10. No alcoholic beverages or their containers, such as bottles and glasses, will be present other than in the storage area after 2:00 a.m. every day.
11. Only on-duty employees will be allowed inside the establishment during non-operating hours.
12. The owners or operators will be responsible for ensuring they follow the restrictions, provisions and guidelines of their license from the State of California Alcoholic Beverage Control (ABC) Board, and including if required, the ratio of alcoholic beverage sales to food sales.
13. The permittee and the operator of any business at the premises shall install, use, and maintain in good working condition a video security system capable of viewing and recording events at the premises as approved by the Chief of Police. The video security system shall be on and operating at all times by common areas, development entrances and exits, and parking areas. The video security system shall be of such to provide

images of such a resolution as to clearly identify individuals for later identification. Security systems could deter and prevent public nuisances. Installation and approval shall occur prior to the release of the occupancy or approval of business license.

14. The permittee and the operator of any business at the premises shall ensure that at least one employee or other person is present on the premises during normal business hours with the necessary knowledge and skill to operate the video security system so that he or she is able to provide the Covina Police Department copies of video recordings immediately upon request.
15. The permittee and the operator of any business at the premises shall preserve the video security system's recorded information of each business day for a period of not less than thirty (30) business days thereafter for the Covina Police Department's review in connection with a criminal or other investigation.
16. The owners, operators, management staff, and employees shall allow for the inspection of the premises by members of the Covina Police Department at any time when there are employees present inside the location.
17. The owners, operators, or managers shall, subject to approval of the Police Department, develop a plan to monitor the area surrounding the location for trash and other discarded items that impact public health and to maintain the cleanliness of the parking lots, sidewalks, and the property of adjacent business owners.
18. The owners, operators, or managers shall, subject to approval of the Police Department, develop a plan to ensure that all exterior locations are adequately and safely illuminated during hours of darkness.
19. The owners, operators, or managers shall ensure that all occupancy levels mandated by the Los Angeles County Fire Department and the Covina Building Division are strictly enforced and adhered to. At any time that the occupancy is in question, the Police Department Watch Commander can contact the Los Angeles County Fire Department and/or the Covina Building Division in order to determine if the occupancy level is over the allowed number of occupants.
20. The owners, operators, or managers must comply with all City codes and ordinances relating to police response and abatement nuisance conditions.
21. All landscaping should follow the two-foot six foot rule. All landscaping should be ground cover, two feet or less and lower tree canopies should be at six feet. This increases natural surveillance and eliminates hiding areas within landscaping. Tree canopies should not interfere with or block the lighting along sidewalks or parking lots. This creates shadows and areas of concealment. Planters will use plant species with limited growth. This is to ensure that maintenance does not become an issue and surveillance from the building is maintained.

22. Rolling driveway gates, and any pedestrian gate, shall have a keypad installed with current access code provided to Police Dispatch at (626) 384-5808.

23. Any rolling gate, security gate, or fencing shall not be covered as to entirely reduce or eliminate visibility into the space. Intermittent viewpoints at eye level must be included to provide adequate visibility into the space.

**F. COUNTY OF LOS ANGELES FIRE DEPARTMENT**

1. Must submit plans to EPICLA for water and access approval.

**G. SPECIAL PROJECT / COMMUNITY DEVELOPMENT**

**DEVELOPMENT IMPACT FEES-NON-RESIDENTIAL PROJECTS**

4. Non-residential (commercial, office or industrial) development impact fees for the Project shall be paid, prior to the issuance of any permits for the Project. Development Impact Fees apply where new square footage is created in commercial and industrial developments. The Applicant shall contact the Director or his designee for calculation of the development impact fee, prior to issuance of any permits for the Project.

Land Use	Impact Fee		Square Feet Added or Created		Square Feet being demolished (credit)		Total Fee
Commercial Use	\$6.253 per building square foot (added or created)	x	4,830 sf	-	0	=	\$30,201.99

**H. ENVIRONMENTAL SERVICES / PUBLIC WORKS**

1. Public Works – Refuse & FOG: Please identify a plan for the disposal of refuse generated by 128-132 E College St. Also identify a plan for the proper disposal of fats/oil/grease (FOG) generated by the indoor and outdoor food facilities.

**I. WATER SERVICES / PUBLIC WORKS**

1. If the existing water service or meter is to be up-sized, or new water service or meter is to be added, developer must show call outs on Utility Plans showing detailed notes for all lines to be added, changed or abandoned